





# GRIMA - FAHRER RESIDENCE

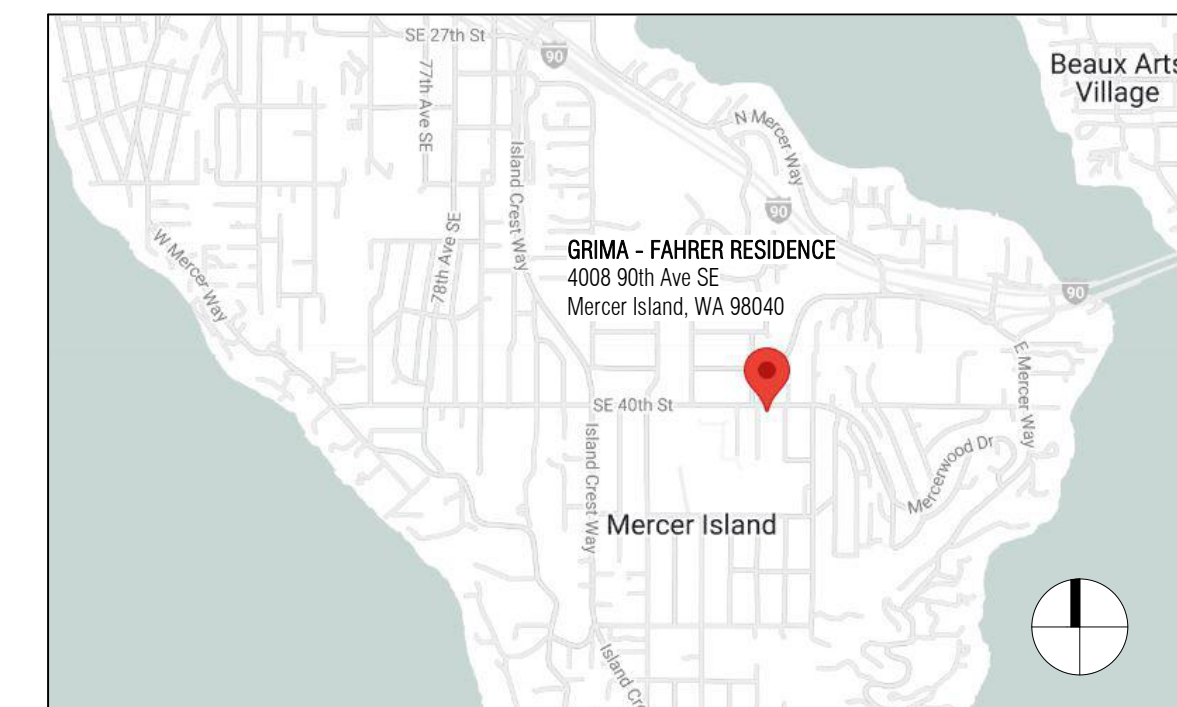
BUILDING PERMIT SET - CORRECTIONS CYCLE 1 - 2023 JULY 26



## PROJECT INFORMATION

PERMIT NO: TBD  
 PROJECT ADDRESS: 4008 90TH AVE SE MERCER ISLAND, WA 98040  
 ASSESSOR PARCEL NO: 806230-0080  
 LEGAL DESCRIPTION: LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON.  
 PROJECT DESCRIPTION: INTERIOR REMODEL, COVERED PATIO ADDITION, AND REAR SITE WORK  
 FIRE SAFETY: EQUIPPED WITH A NFPA 13D FIRE SPRINKLER SYSTEM (PERMIT 1606-208). VERIFY THAT THE SYSTEM IS OPERATIONAL AND HAS BEEN ANNUALLY TESTED.

## VICINITY MAP



## PROJECT TEAM

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## DRAWING INDEX

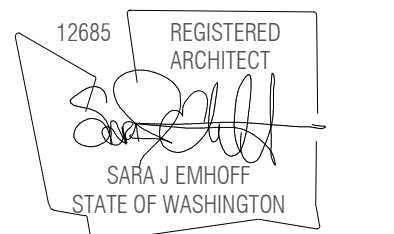
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## GRIMA RESIDENCE

PROJECT ADDRESS:  
 4008 90TH AVE SE  
 MERCER ISLAND, WA 98040

OWNER:  
 SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
1	2023.07.26	PERMIT CORRECTIONS CYCLE 1

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

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 ORIGINAL SHEET SIZE: 9' X 14'

BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

COVER SHEET & GENERAL INFORMATION

SHEET NO.:

# GO.01



## ABBREVIATIONS

@	AT	LB	LAG BOLT
AB	ANCHOR BOLT	LL	LIVE LOAD
ABV	ABOVE	LT	LIGHT
AC	AIR CONDITIONING	LTG	LIGHTING
ADJ	ADJUSTABLE	LVR	LOUVER
AFF	ABOVE FINISH FLOOR	LT WT	LIGHT WEIGHT
AFG	ABOVE FINISH GRADE	LVL	MICROLAM LAMINATED VENEER LUMBER
ANCH	ANCHOR	MAX	MAXIMUM
APPROX	APPROXIMATE (LY)	MECH	MECHANICAL
ARCH	ARCHITECT (URAL)	MED	MEDIUM
AW	AWNING	MFR	MANUFACTURER
		MIN	MINIMUM
BF	BOTTOM FLUSH	MISC	MISCELLANEOUS
BLDG	BUILDING	MTL	METAL
BM	BEAM	MW	MICROWAVE
BOT	BOTTOM		
BRG	BEARING	NEC	NECESSARY
BTWN	BETWEEN	NIC	NOT IN CONTRACT
		NTS	NOT TO SCALE
C	CASEMENT	O/	OVER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CFM	CUBIC FEET PER MINUTE	OC	ON CENTER
CI	CEILING JOIST	OFCI	OWNER FURNISHED CONSTRUCTOR INSTALLED
CLG	CEILING	OFOI	OWNER FURNISHED OWNER INSTALLED
CLR	CLEAR	OH	OVERHEAD
CNTR	CENTER	OPP	OPPOSITE
COL	COLUMN	OV	OVEN
CONC	CONCRETE	PC	PIPE COLUMN
CONST	CONSTRUCTION	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PLYWD	PLYWOOD
CONTR	CONTRACTOR	PSF	POUNDS PER SQUARE FOOT
COORD	COORDINATE	PSI	POUNDS PER SQUARE INCH
		PSL	PARALLEL STRAND LUMBER
D	DRYER	PT	POINT
DB	DROP BEAM	PT	PRESSURE TREATED
DEM	DEMOLITION	PTD	PAINTED
DHW	DOMESTIC HOT WATER HEATER	PWR	POWER
DIA	DIAMETER		
DIM	DIMENSION	QTY	QUALITY
DL	DEAD LOAD	QUANT	QUANTITY
DN	DOWN		
DRY	DRYER	R	RANGE
DS	DOWNSPOUT	RD	ROOF DRAIN
DW	DISHWASHER	REINF	REINFORCING
DWG	DRAWING	REQ D	REQUIRED
		REF	REFRIGERATOR
EW	EACH WAY	REV	REVISION
E	EXISTING	RF	ROOF
EA	EACH	RFG	ROOFING
EG	EGRESS	RM	ROOM
ELEC	ELECTRICAL	RO	ROUGH OPENING
EM	ELECTRIC METER		
EQ	EQUAL	S	SINK
EQUIP	EQUIPMENT	SAF	SELF-ADHERED FLASHING
EXH	EXHAUST	SC	SOLID CORE
EXIST	EXISTING	SCH	SCHEDULE
EXP	EXPANSION	SCHED	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
		SF	SQUARE FOOT
FD	FLOOR DRAIN	SG	SAFETY GLAZING
FDN	FOUNDATION	SH	SINGLE HUNG
FIN	FINISH	SIM	SIMILAR
FJ	FLOOR JOIST	SI	SLIDING WINDOW OR DOOR
FL	FLOOR	SPEC	SPECIFICATION
FO	FACE OF	SPF	SPRUCE, PINE, FIR
FURR	FURRING	SO	SQUARE
FT	FOOT	SO FT	SQUARE FOOT
FTG	FOOTING	SS	STAINLESS STEEL
FURN	FURNACE	S&R	SHelf AND ROD
		STD	STANDARD
GA	GAUGE, GAGE	STL	STEEL
GALV	GALVANIZED	STRUCT	STRUCTURAL
GC	GENERAL CONTRACTOR	SYM	SYMMETRICAL
GEN	GENERAL		
GL	GLASS	TBD	TO BE DETERMINED
GM	GAS METER	TF	TOP FLUSH
GR	GRADE	T&G	TONGUE AND GROOVE
GWB	GYPSUM WALL BOARD	TEMP	TEMPORARY, TEMPERATURE
		THK	THICK
HB	HOSE BIB	TO	TOP OF
HC	HOLLOW CORE	T&G	TONGUE AND GROOVE
HDR	HEADER	TEMP	TEMPORARY, TEMPERATURE
HDW	HARDWARE	THK	THICK
HORIZ	HORIZONTAL	TO	TOP OF
HR	HOUR (FIRE RESISTANT RATING)	T&G	TONGUE AND GROOVE
HT	HEIGHT	TOG	TOGETHER
HVAC	HEATING, VENTILATION & AC	TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
IG	INSULATED GLASS	VAR	VARIES
IN	INCH	VENT	VENTILATION
INCL	INCLUDING	VERT	VERTICAL
INFO	INFORMATION	VG	VERTICAL GRAIN
INSUL	INSULATING, INSULATION	VIF	VERIFY IN FIELD
INT	INTERIOR		
ISG	INSULATED SAFETY GLASS	W	WASHER
		W/	WITH
JT	JOINT	W/O	WITHOUT
		WASH	CLOTHES WASHER
KD	KILN DRIED	W/D	WARMING & DRYER
KP	KING POST	WM	WATER METER
		WS	WIRE SHELVING
LAM	LAMINATED(D)	WWM	WELDED WIRE MESH
LAV	LAVATORY		
		#	NUMBER OF POUND(S)

## DRAWING SYMBOL KEY

	NORTH ARROW		DRAWING TITLE
	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER		VIEW TITLE
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER		SITE POINT ELEVATION
	BUILDING SECTION DRAWING NUMBER SHEET NUMBER		FLOOR ELEVATION DATUM
	WALL SECTION DRAWING NUMBER SHEET NUMBER		SPOT ELEVATION DATUM
	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER		REVISION TAG
	STRUCTURAL DETAIL DRAWING NUMBER SHEET NUMBER		WALL/FLOOR/ROOF ASSEMBLY TYPE TAG
	ARCHITECTURAL DETAIL DRAWING NUMBER SHEET NUMBER		HOSE BIBB
	CUT MARK		EXHAUST FAN AIR FLOW RATE
	CENTERLINE		RAMP UP/DOWN PERCENT SLOPE
	GRID LINE		DECK SLOPE TO DRAIN
			CEILING/ROOF SLOPE RISE / RUN
			SMOKE DETECTOR
			CARBON MONOXIDE ALARM
			COMBO SMOKE/CARBON MONOXIDE DETECTOR
			CLOTHES ROD AND SHELF
			ROOF PITCH

## ELECTRICAL SYMBOL KEY

	110V DUPLEX OUTLET GFI = GROUND FAULT INTERRUPTER EXT = EXTERIOR		FLUSH / SEMI-FLUSH FIXTURE
	220V OUTLET		WALL-MOUNTED FIXTURE
	110V 4-PLEX OUTLET		PENDANT FIXTURE
	FLOOR DUPLEX OUTLET (GFI)		RECESSED CEILING FIXTURE
	FLOOR OUTLET (OTHER)		RECESSED DIRECTIONAL FIXTURE
	WALL OUTLET (SWITCHED)		SITE LIGHTING FIXTURE
	COM JACK T = TELEPHONE C = CABLE D = DATA		TRACK LIGHTING FIXTURE
	SINGLE POLE SWITCH D = DIMMER J = JAMB M = MOTION T = TIMER 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH		UNDERCABINET LIGHT FIXTURE
	THERMOSTAT		SURFACE MOUNT STRIP FIXTURE
	CEILING / WALL SPEAKER		CORNER STRIP FIXTURE
	WALL HEATER		CEILING MOUNTED FAN W/ OPTIONAL LIGHTING KIT
	DOOR BELL		ELECTRICAL WIRING
	DOOR CHIME		

## CONTRACT GENERAL NOTES

- GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED.
- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER DRAWINGS.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING FIELD MEASUREMENTS AS NECESSARY.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL.
- SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT, AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY.
- THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIwick TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER AND AIR PROOF, DURABLE PROJECT.
- COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
- EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.  
EXCEPTIONS:  
a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH.  
b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

## CONTRACT DIMENSION NOTES

- DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS. PRIOR TO PROCEEDING WITH WORK.
- AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
- AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.
- SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

## FINISHES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT.  
X = ITEMIZED DESCRIPTOR (NUMBER ONLY)

CARPET 	SPECIALTY FINISH 
FABRIC 	SOLID SURFACE 
GLASS 	STONE 
METAL 	TILE 
PLASTIC LAMINATE 	WOOD 
PAINT 	WALLCOVERING 
RESILIENT FLOORING 	

## SCHEDULES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT.  
X = ITEMIZED DESCRIPTOR (LETTER OR NUMBER)  
( ) = REFERENCE PROJECT MANUAL DIVISION

	EG = EGRESS SG = TEMPERED	WINDOW TAG
		DOOR TAG
		SALVAGE TAG (DIVISION 2)
		LIGHTING TAG (DIVISION 26)
		PLUMBING TAG (DIVISION 22)
		SPECIALTY TAG (RESERVED)
		FURNISHINGS TAG (DIVISION 12)
		EQUIPMENT & APPLIANCE TAG (DIVISION 11)
		(BATH) ACCESSORY TAG (DIVISION 10)
		(DECORATIVE) ACCESSORY TAG (DIVISION 10)
		(CABINET) HARDWARE TAG (DIVISION 6)
		(DOOR) HARDWARE TAG (DIVISION 8)
		(WINDOW) HARDWARE TAG (DIVISION 8)



## ENERGY CODE REQUIREMENTS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE

**R401.3 COMPLIANCE CERTIFICATE:** A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

### TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.50
CEILING R-VALUE	R-49 <sup>1</sup>
VAULTED CEILING R-VALUE	R-38 <sup>1</sup>
WOOD FRAMED WALL R-VALUE	R-21 INT
BELOW-GRADE WALL R-VALUE	**10/15/21 + TB
FLOOR R-VALUE	R-30
SLAB ON GRADE R-VALUE & DEPTH	**R-10, 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

\*\* 10/15/21 + TB<sup>1</sup> MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. \*\*10/15/21 + TB<sup>2</sup> SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. <sup>1</sup>TB<sup>1</sup> MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

\*\*\* R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

<sup>1</sup> IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

### R402.4 BUILDING AIR LEAKAGE AND TESTING

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE BELOW 5 AIR CHANGES PER HOUR.

**R403.1 CONTROLS:** EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE

### R403.3 DUCTS

- DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 INSULATION, MINIMUM
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

**R404.1 LIGHTING:** MINIMUM 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

**R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS - CREDIT SELECTION: N/A**

## VENTILATION & EXHAUST NOTES

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS M1503, & M1505

### RANGE HOOD

- DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SECTION M1503.3.
- VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1505.4.4.
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER COMPLYING WITH SECTION M1503.6.2.

### MECHANICAL VENTILATION - LOCAL EXHAUST

- KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1505.4.4.
- BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS PER TABLE M1505.4.4.
- EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION M1505.2.

### WHOLE HOUSE VENTILATION

- A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1505. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE PER SECTION M1505.4.2
- THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1505.4.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(2).

## BUILDING CODE SUMMARY

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS

### R302.6 DWELLING / GARAGE SEPARATION

THE GARAGE SHALL BE SEPARATED AS FOLLOWS:

- MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR RATING).
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE.
- MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE CEILING.
- MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

### R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0".
- BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4".
- BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8".
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30" X 30" WITH 6'-8" CEILING HEIGHT AT THE SHOWERHEAD.
- FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-0" AND NOT LESS THAN 50% OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN 7'-0".
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET.
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

### R308 GLAZING

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

- GLAZING IN DOORS
- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
  - BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR
  - THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR
- ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
- GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB).
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

### R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM

- PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING LOCATIONS:
  - SD: IN EACH SLEEPING ROOM.
  - SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  - CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.

### NOTES

- ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS.

## MECHANICAL VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE M1505, TABLE M1505.4.3(1)

DWELLING UNIT FLOOR AREA	REQUIRED CONTINUOUS VENTILATION PER TABLE M1505.4.3(1)		
	(ALTERED)	TOTAL SF	REQUIRED AIRFLOW
1ST FLOOR	10 SF	2110 SF	
2ND FLOOR	0 SF	2795 SF	
NUMBER OF BEDROOMS	5	4905 SF	105 CFM

INTERMITTENT VENTILATION ADJUSTMENT FACTOR PER M1505.4.3.1 RATE: 50% / 4HR 2

TOTAL REQUIRED INTERMITTENT VENTILATION 210 CFM

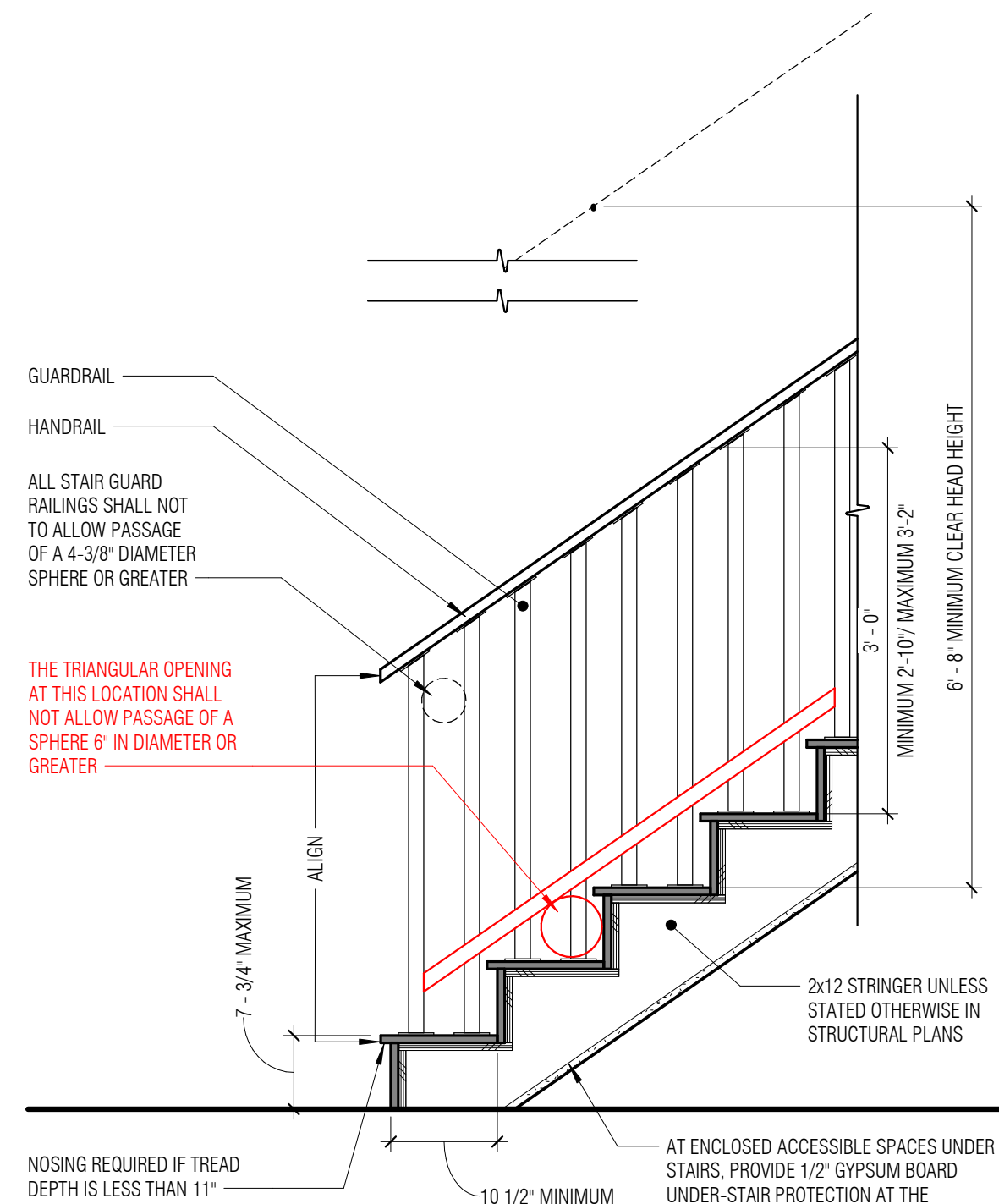
INTERMITTENT VENTILATION PROVIDED BY BATHROOM FANS RUNNING @ 50% TIME INTERVAL MINIMUM.

## BUILDING AREA CALCULATIONS

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR)			
FIRST FLOOR	2100 SF	10 SF (TAKEN FROM GARAGE)	2110 SF
SECOND FLOOR	2795 SF	0	2795 SF
TOTALS	4895 SF	10 SF	4905 SF

## STAIR CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS



### R311.7 STAIRWAYS

#### STAIRS

- RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1
- TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2
  - A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3 EXCEPTION
- TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1
- FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST POINT AND A MINIMUM 6" TREAD AT THE NARROWEST POINT PER R311.7.5.2.1
- CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING PER R311.7.2
- OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER R311.7.5.1
- A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER R311.7.3.
- LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.

#### HANDRAILS

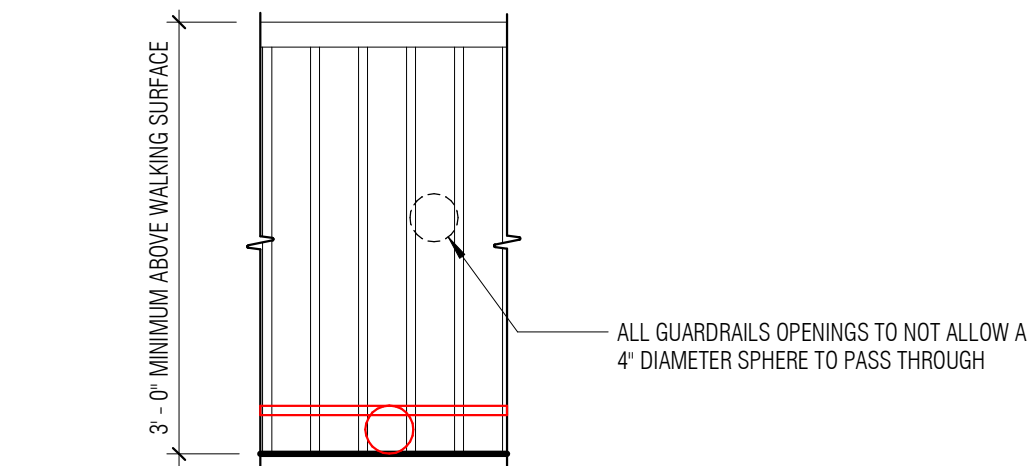
- HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER R311.7.8.1
- HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2.
- HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER R311.7.8.2.
- HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.

#### GUARDS

- GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS PER R312.1.2.1
- GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN DIAMETER, PER R312.1.3.2
- THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

## GUARDS CODE REQUIREMENTS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS



### R312 GUARDS

- GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING SURFACE OR GRADE PER R312.1.2
- GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE PER R312.1.2
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES PER R312.1.3
- GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS PER R301.5.

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS

REVISION	DATE	DESCRIPTION

### ISSUANCES

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

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 ORIGINAL SHEET SIZE: 9' X 24"

BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

### BUILDING / ENERGY CODE SUMMARY

SHEET NO.:



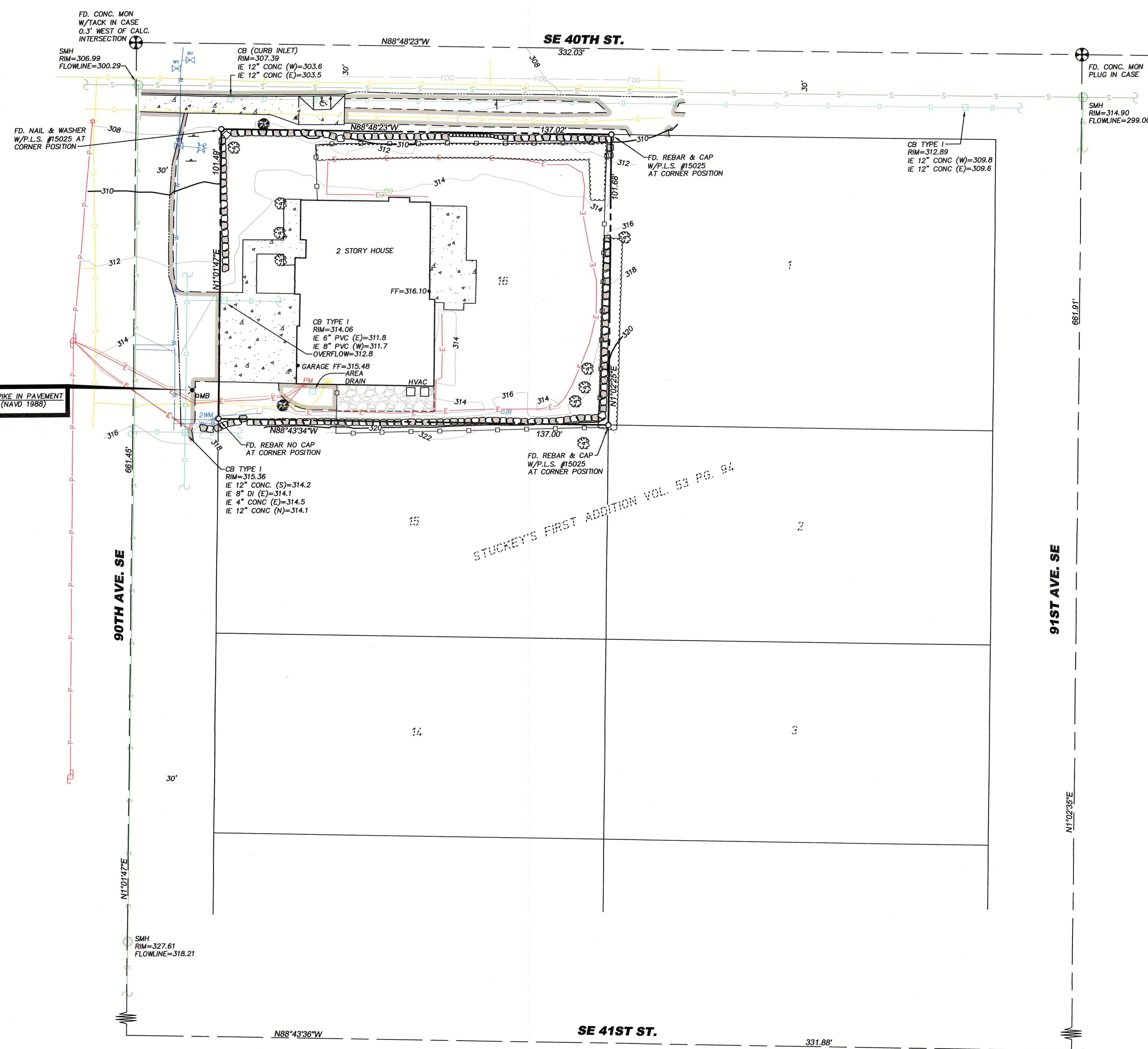
REVISIONS	BY	DATE

**BOUNDARY & TOPOGRAPHY SURVEY**

**NATHAN FAHRER**  
 NE1/4 NW1/4 SEC. 18, T.24N., R.5E., W.M.  
 CITY OF MERCER ISLAND  
 KING COUNTY WASHINGTON

**ENGINEERS - SURVEYORS**  
**EASTSIDE CONSULTANTS, INC.**  
 1510 N.W. MARKET STREET, SUITE B  
 ISSAQUAH, WASHINGTON 98027  
 PH: (425) 392-5351 FAX: 392-4676

JOB NO. 22011
DATE JAN. 2022
SCALE 1"=20'
DESIGNED S.K.
DRAWN S.K.
CHECKED R.B.
APPROVED
SHEET 1 OF 1



**LEGAL DESCRIPTION:**

LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

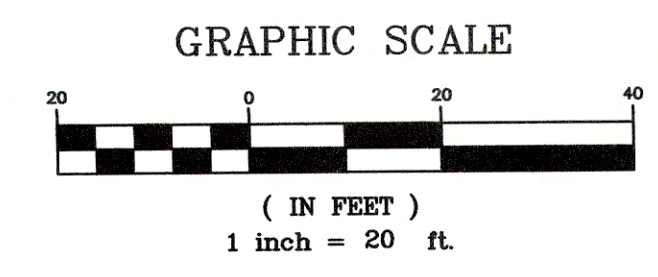
**SURVEY NOTES:**

- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK WSRN).
- ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
- FIELD WORK WAS DONE IN JANUARY OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR ARCHITECTURAL AND ENGINEERING DESIGN.
- THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
- PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
- THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC. AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.

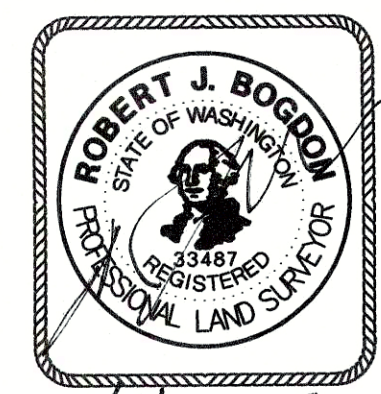
**Call Before You Dig**  
 811 OR 1-800-424-5555

**REFERENCE SURVEYS:**

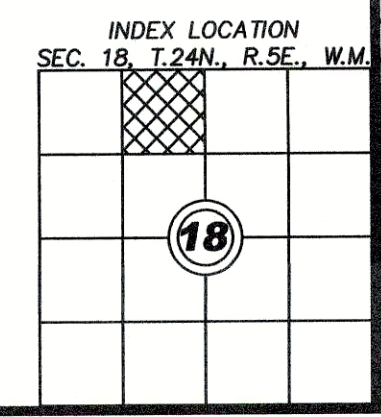
- PLAT OF STUCKEY'S FIRST ADDITION, VOL. 53 PG. 94.
- PLAT OF PETRICK HEIGHTS NO. 2, VOL. 53 PG. 93.
- RECORD OF SURVEY PER REC. NO. 20020906900009.
- RECORD OF SURVEY PER REC. NO. 20210720900028.



- LEGEND:**
- ⊕ = MONUMENT IN CASE AS DESCRIBED
  - = PROPERTY CORNER AS DESCRIBED
  - ⊙ = POWER POLE
  - PM = POWER METER
  - ⊙ = LIGHT POLE
  - = UNDERGROUND POWER (PAINTED LOCATION)
  - = OVERHEAD POWER
  - ⊕ = FIRE HYDRANT
  - ⊕ = WATER VALVE
  - WM = WATER METER
  - IR = IRRIGATION BOX
  - = WATER LINE (PAINTED LOCATION)
  - = UNDERGROUND COMMUNICATION (PAINTED LOCATION)
  - CB = CATCH BASIN
  - = STORM DRAIN LINE/CULVERT
  - GM = GAS METER
  - = UNDERGROUND GAS LINE (PAINTED LOCATION)
  - SMH = SEWER MANHOLE
  - CO = SEWER CLEANOUT
  - = SEWER LINE
  - MB = MAIL BOX
  - = SIGN
  - = ADA RAMP
  - ⊕ = EVERGREEN TREE
  - ⊕ = DECIDUOUS TREE
  - = HEDGE
  - = ROCKERY
  - = WOOD FENCE LINE
  - = FOG LINE (LANE STRIPE)
  - = FLOW LINE
  - = EDGE OF PAVEMENT/CURB LINE
  - = CONCRETE
  - = GRAVEL

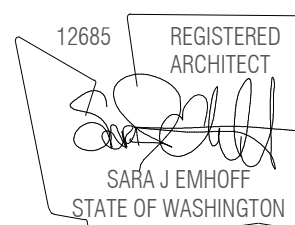


2/2/2022



INDEX LOCATION  
 SEC. 18, T.24N., R.5E., W.M.





**GRIMA RESIDENCE**

PROJECT ADDRESS:  
 4008 90TH AVE SE  
 MERCER ISLAND, WA 98040  
 OWNER:  
 SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
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**ISSUANCES**

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

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 ORIGINAL SHEET SIZE IS 22"X34"

BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

**SITE PLAN**

SHEET NO.:

**A1.11**

**PROJECT INFORMATION**

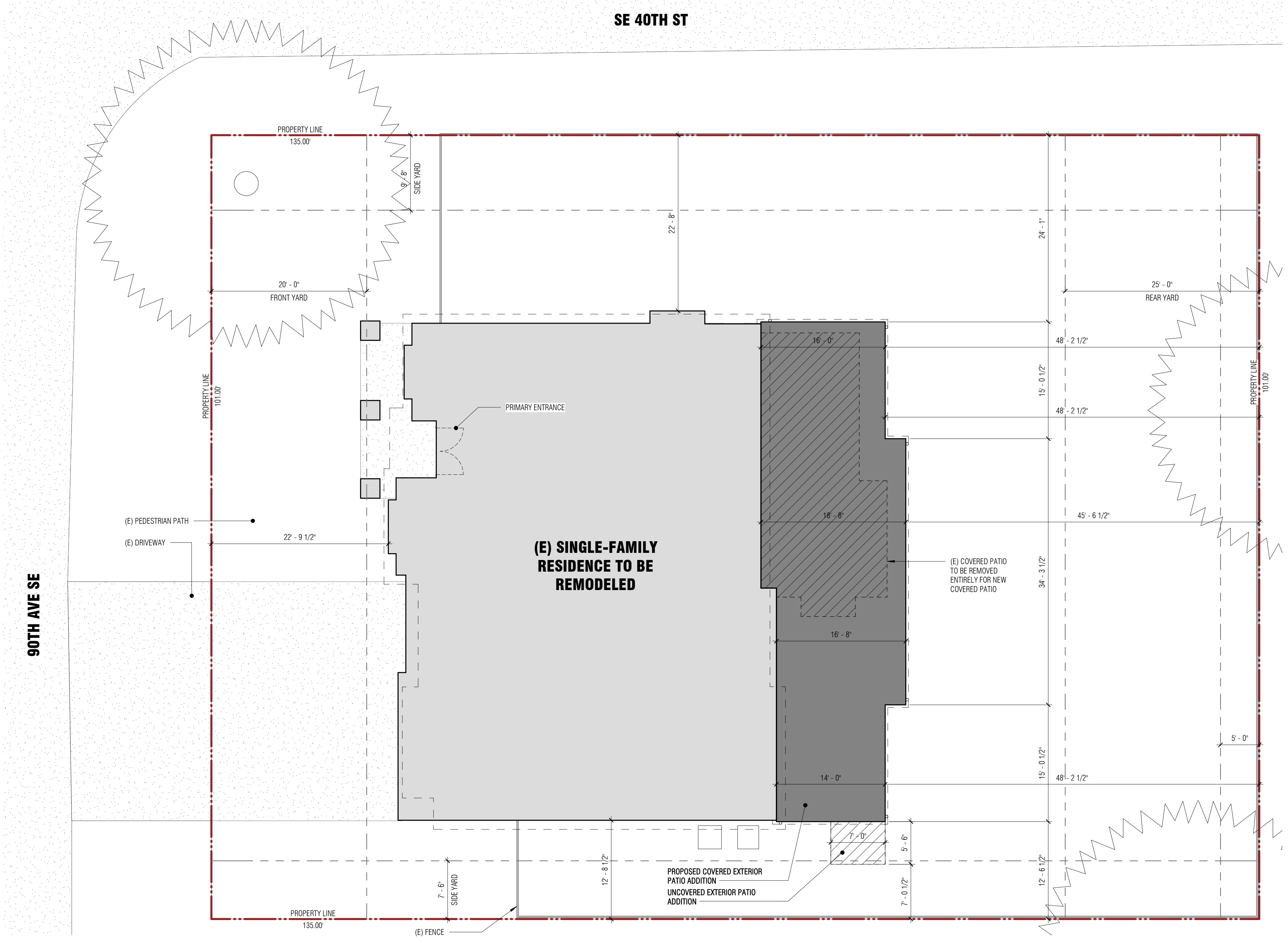
PERMIT NO: TBD  
 PROJECT ADDRESS: 4008 90TH AVE SE MERCER ISLAND, WA 98040  
 ASSESSOR PARCEL NO: 806230-0080  
 LEGAL DESCRIPTION: LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON.  
 PROJECT DESCRIPTION: INTERIOR REMODEL, COVERED PATIO ADDITION, AND REAR SITE WORK  
 FIRE SAFETY: EQUIPPED WITH A NFPA 13D FIRE SPRINKLER SYSTEM (PERMIT 1606-208). VERIFY THAT THE SYSTEM IS OPERATIONAL AND HAS BEEN ANNUALLY TESTED.

**SITE PLAN KEY**

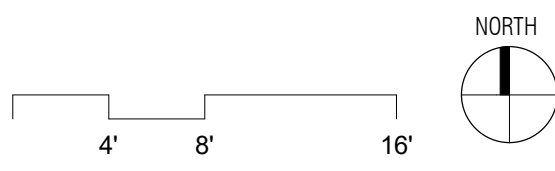
- EXISTING HOUSE FOOTPRINT
- NEW COVERED PATIO FOOTPRINT
- NEW UNCOVERED PATIO FOOTPRINT
- (E) COVERED PATIO FOOTPRINT TO BE REMOVED
- CONCRETE WALKWAY
- ROOF ABOVE
- PROPERTY LINE
- LINE OF SETBACK

**LAND USE / ZONING CODE SUMMARY**

PER MICC 19.02  
**ZONE:** R-9.6  
**LOT SIZE:** 13,917 SF  
**FRONT SETBACK:**  
 MIN. REQ'D: 20'-0"  
 PROPOSED: 22'-9 1/2" (NO CHANGE, THEREFORE OKAY)  
**NORTH SIDE SETBACK:**  
 MIN. REQ'D: 9'-8"  
 PROPOSED: 22'-8" (NO CHANGE, THEREFORE OKAY)  
**SOUTH SIDE SETBACK:**  
 MIN. REQ'D: 7'-6"  
 PROPOSED: 12'-6 1/2"  
**REAR SETBACK:**  
 MIN. REQ'D: 25'-0"  
 PROPOSED: 46'-6 1/2"  
**HEIGHT LIMIT:**  
**ALLOWED:** 30'-0" TO HIGHEST POINT ABOVE AVERAGE GRADE ELEVATION  
**PROPOSED:** 30'-0" EXISTING, NO CHANGE  
**LOT COVERAGE:**  
**ALLOWED:** SEE SHEET A1.12 FOR LOT COVERAGE CALCULATIONS  
**GROSS FLOOR AREA:**  
**ALLOWED:** 40% OF LOT NET AREA < 8,000 SF (WHICHEVER IS LESS) = 5,566.8 SF  
**MAIN LEVEL:** 3,010 GSF (EXISTING)  
**UPPER LEVEL:** 2,818 GSF (EXISTING)  
**TOTAL (E):** 5,828 GSF (EXISTING)  
**PROPOSED:** 5,828 GSF (NO CHANGE, THEREFORE OKAY)  
**PARKING:**  
**REQUIRED:** 1  
**PROPOSED:** 1 (EXISTING, NO CHANGE)  
**CURB CUT CALCULATIONS:**  
**ALLOWED:** (1) CURB CUT NO GREATER THAN 20 FEET, AS SUBSTITUTED FOR (2) 10-FOOT CURB CUTS ALLOWED FOR A STREET FRONTAGE BETWEEN 80 AND 160 FEET ON A NON-ARTERIAL STREET. (SMC 23.54.030)  
**PROPOSED:** 1 (EXISTING, NO CHANGE)



**1 ARCHITECTURAL SITE PLAN - PROPOSED**  
 1/8" = 1'-0"








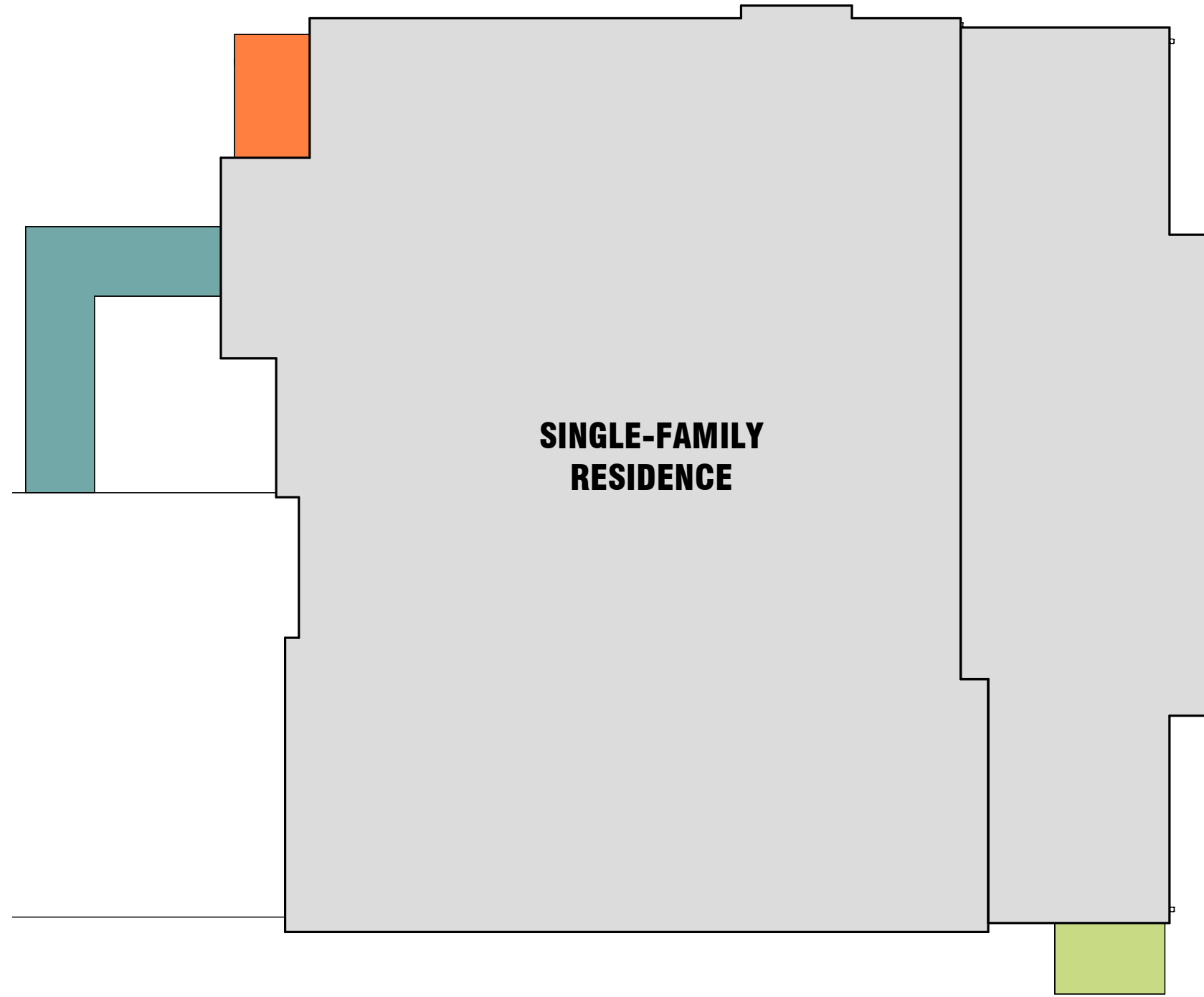
## HARDSCAPE CALCULATIONS

PER MERCER ISLAND CITY CODE 19.02.060

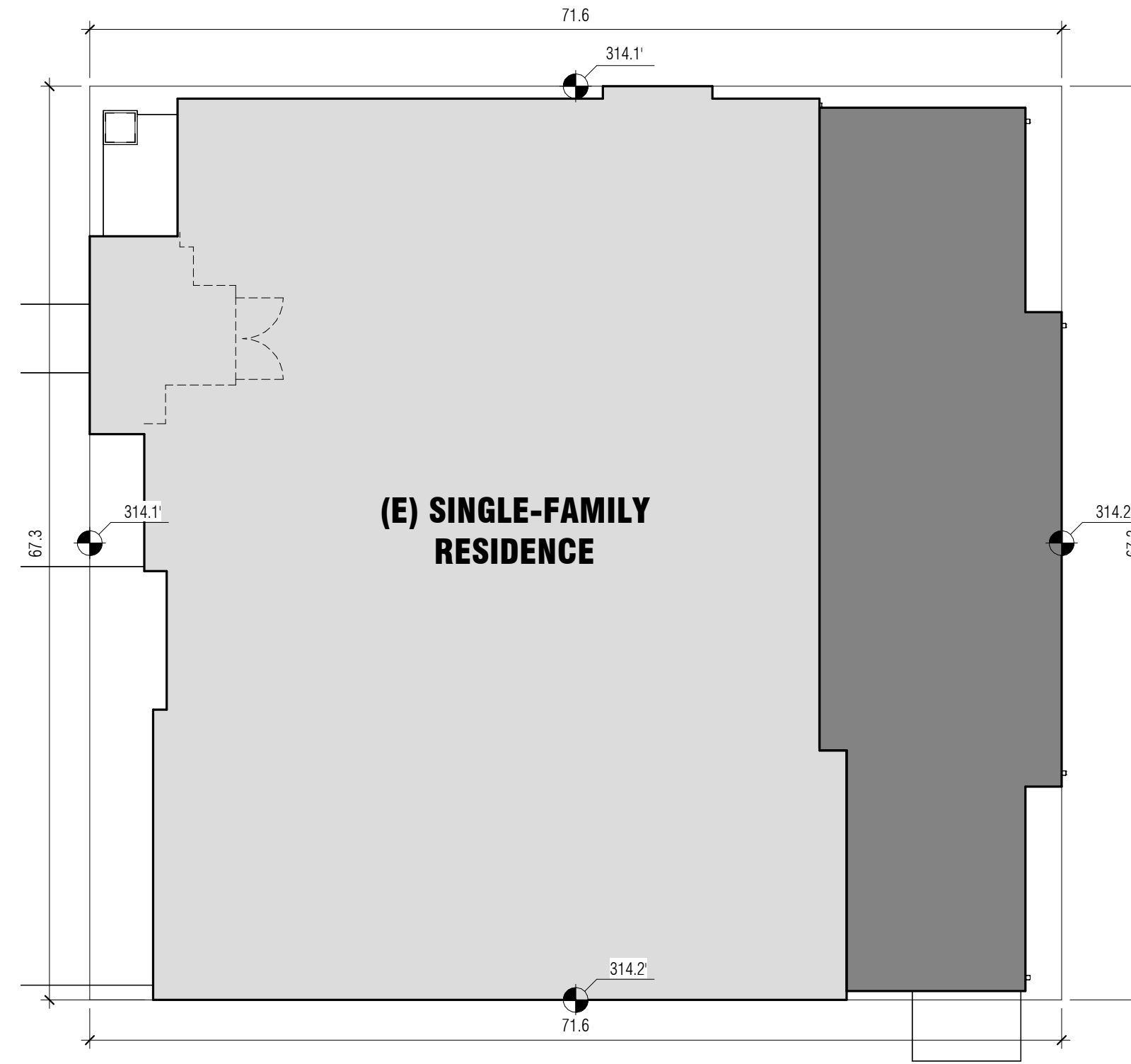
III. ALLOWED: A MAXIMUM OF 9% OF THE LOT AREA CAN BE HARDSCAPE.  
 1. HARDSCAPE INCLUDES: PATIOS, UNCOVERED STEPS, WALKWAYS, DECKS, RETAINING WALLS, ROCKERIES, AND OTHER HARDENED SURFACES OTHER THAN DRIVABLE SURFACES OR ROOFS.  
 2. HARDSCAPE IMPROVEMENTS CAN BE WITHIN THE MAXIMUM LOT COVERAGE ALLOWANCE. THAT IS, IF THE PROPOSED LOT COVERAGE IS LESS THAN THE MAXIMUM LOT COVERAGE, THE DIFFERENCE BETWEEN THE MAXIMUM AND PROPOSED AREAS CAN BE USED FOR HARDSCAPE.

A. GROSS LOT AREA	13,917 SF
B. NET LOT AREA	13,917 SF
C. AREA BORROWED FROM LOT COVERAGE	0 SF
D. ALLOWED HARDSCAPE AREA = 9% OF LOT AREA + C	= 9%
E. ALLOWED HARDSCAPE AREA	1,252.53 SF
F. TOTAL EXISTING HARDSCAPE AREA:	
1. UNCOVERED DECKS	0 SF
2. UNCOVERED PATIOS	49 SF
3. WALKWAYS	143 SF
4. STAIRS	0 SF
5. ROCKERIES AND RETAINING WALLS	0 SF
6. OTHER	N/A
7. TOTAL EXISTING HARDSCAPE AREA (F1 + F2 + F3 + F4 + F5 + F6)	= 192 SF
G. TOTAL HARDSCAPE AREA REMOVED	0 SF
H. TOTAL NEW HARDSCAPE AREA:	
1. UNCOVERED DECKS	0 SF
2. UNCOVERED PATIOS	40 SF
3. WALKWAYS	0 SF
4. STAIRS	0 SF
5. ROCKERIES AND RETAINING WALLS	0 SF
6. OTHER	N/A
7. TOTAL NEW HARDSCAPE AREA (H1 + H2 + H3 + H4 + H5 + H6)	= 40 SF
I. TOTAL PROJECT HARDSCAPE AREA (F7 - G) + H7	= 232 SF
J. TOTAL PROJECT HARDSCAPE AREA (I/B) X 100	= 1.6%

	EXISTING UNCOVERED PATIO
	EXISTING WALKWAYS
	UNCOVERED PATIO



**SINGLE-FAMILY RESIDENCE**



**(E) SINGLE-FAMILY RESIDENCE**

## AVERAGE GRADE CALCULATION

SMC 23.86.006.A.1.b: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.

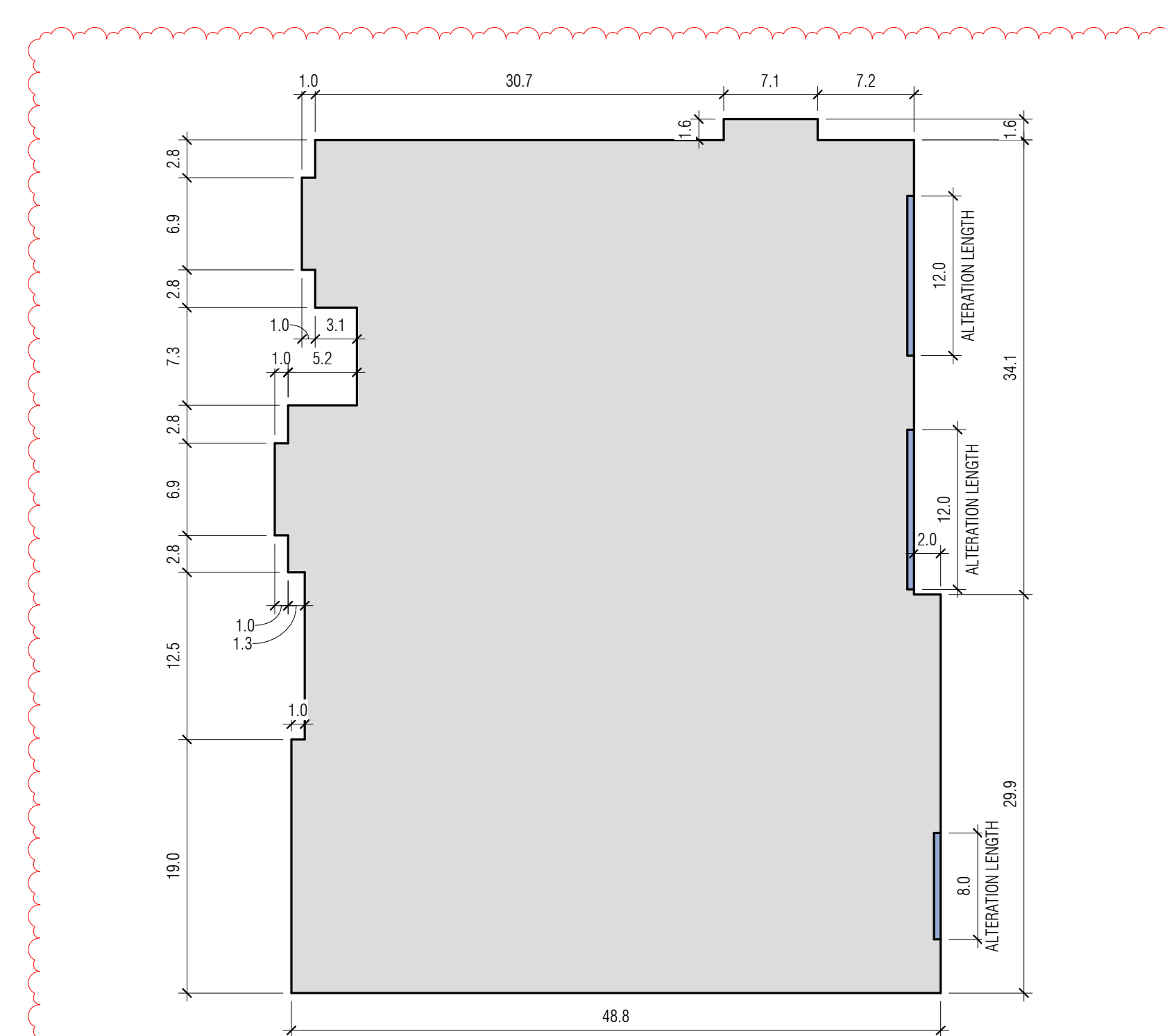
RECTANGLE SIDE	LENGTH	X	MIDPOINT ELEVATION	=	TOTAL
NORTH	71.6'	X	314.1'	=	22,489.56
SOUTH	71.6'	X	314.2'	=	22,496.72
EAST	67.3'	X	314.1'	=	21,138.93
WEST	67.3'	X	314.2'	=	21,145.66

**TOTAL** 277.8' **87,270.87**  
 AVERAGE MIDPOINT ELEVATION (87,270.87/277.8) = 314.15

GRADE AVERAGE: 314.15'  
 MAX HEIGHT: 344.15'  
 PROPOSED HEIGHT: 344.15' (E) NO CHANGE TO HEIGHT

### 3 HARDSCAPE CALCULATION

1" = 10'-0"



### INTENTIONAL EXTERIOR ALTERATION CALC

NOTE: ALTERATION FOR NEW DOORS ONLY ON EAST FACADE

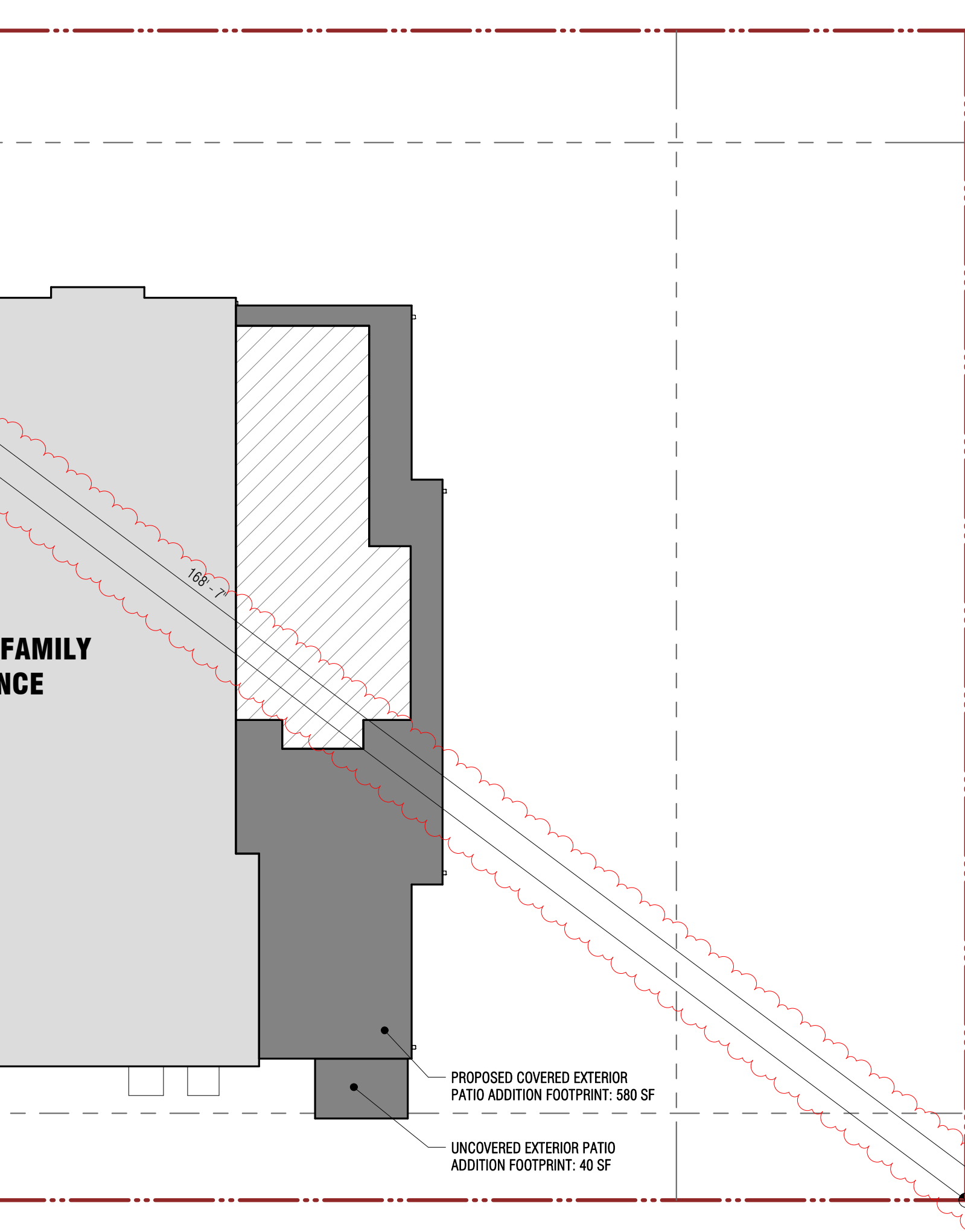
TOTAL FACADE LENGTH: 241.1'  
 ALLOWED: 40% OF 241.1' = 96.56'  
 PROPOSED ALTERATION LENGTHS: 32' TOTAL ALTERATION LENGTH (32' < 96.56' THEREFORE OKAY)

### 4 INTENTIONAL EXTERIOR ALTERATION PLAN DIAGRAM

1" = 10'-0"

### 2 SITE DIAGRAM - AVERAGE GRADE CALCULATION

1" = 10'-0"



**(E) SINGLE-FAMILY RESIDENCE**

PROPOSED COVERED EXTERIOR PATIO ADDITION FOOTPRINT: 580 SF  
 UNCOVERED EXTERIOR PATIO ADDITION FOOTPRINT: 40 SF




## LOT COVERAGE CALCULATIONS & KEY

PER MICC 19.02.60

LOT SLOPE CALCULATIONS AS FOLLOWS  
 HIGHEST ELEVATION POINT OF LOT = 320'  
 LOWEST ELEVATION POINT OF LOT = 308'  
 ELEVATION DIFFERENCE = 12'  
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS = 168.58'  
 LOT SLOPE = 12/168.58 = 7%  
 LOT COVERAGE FOR SLOPES < 15% = 40%

LOT AREA	=	13,917 SF
40% OF LOT AREA (MAX LOT COVERAGE)	=	5,566.8 SF
EXISTING HOUSE FOOTPRINT + OVERHANGS	=	3,275 SF
EXISTING COVERED PATIOS + DRIVING SURFACES	=	1,243 SF
TOTAL EXISTING	=	4,518 SF
PROPOSED COVERED PATIO ADDITION FOOTPRINT	=	580 SF

**TOTAL EXISTING AND PROPOSED LOT COVERAGE** = 5,098 SF < 5,566.8 SF (MAX)

	EXISTING COVERAGE (INCLUDES BUILDING FOOTPRINT AND ROOF OVERHANGS)
	EXISTING UNCONDITIONED SPACE TO BE REPLACED
	PROPOSED PATIO ADDITION FOOTPRINT

REVISION	DATE	DESCRIPTION
1	2023.07.26	PERMIT CORRECTIONS CYCLE 1

#### ISSUANCES

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

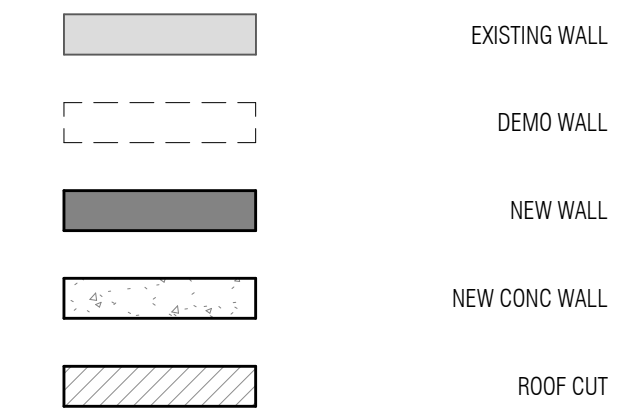
#### SITE DIAGRAMS

SHEET NO.:



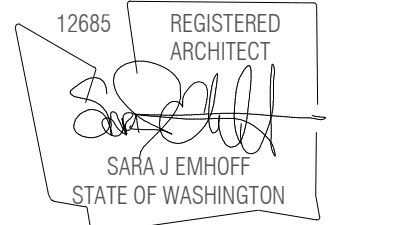


**WALL KEY**



**DEMOLITION NOTES**

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
4. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



**GRIMA RESIDENCE**

PROJECT ADDRESS:  
 4808 80TH AVE SE  
 MERGER ISLAND, WA 98040  
 OWNER:  
 SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

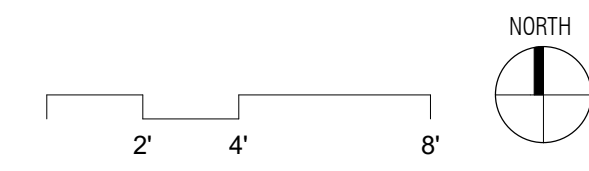
COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.  
 ORIGINAL SHEET SIZE: 11'x14'  
 BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

**FIRST FLOOR - DEMOLITION PLAN**

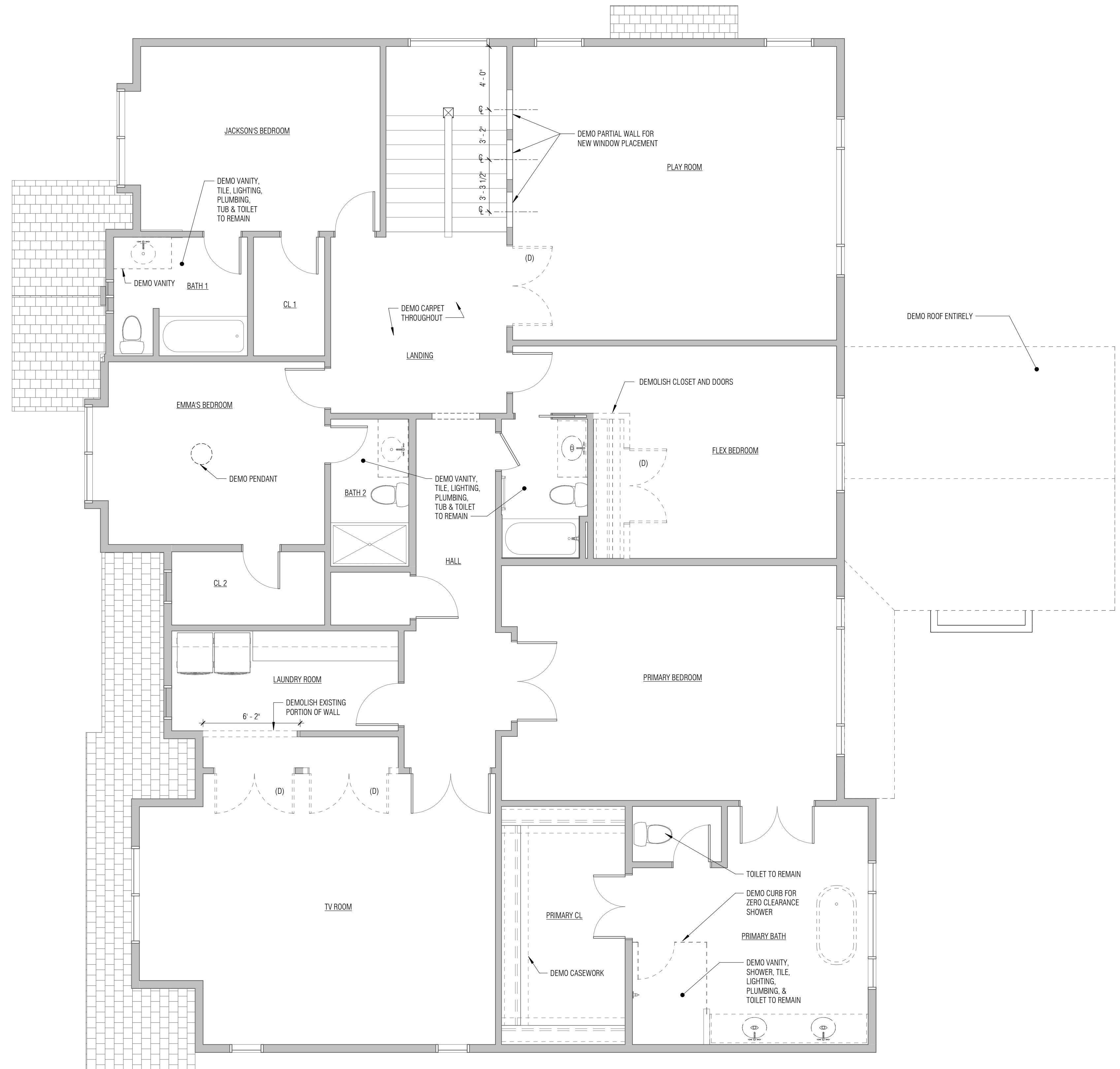
SHEET NO.:

**1 FIRST FLOOR - DEMOLITION PLAN**  
 1/4" = 1'-0"

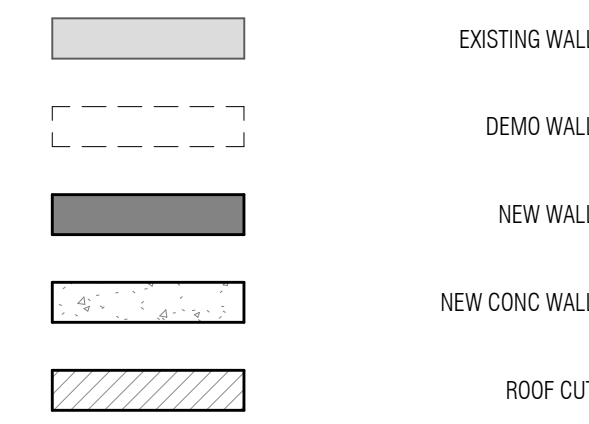


**A2.11**





**WALL KEY**

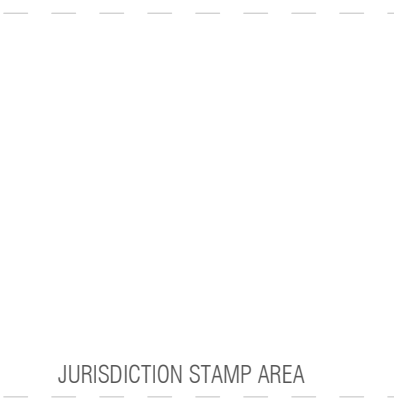
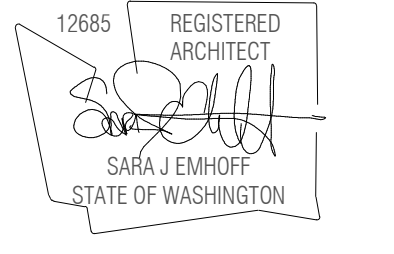


**WINDOW / DOOR KEY**

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

**DEMOLITION NOTES**

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
4. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



**GRIMA RESIDENCE**

PROJECT ADDRESS:  
 4308 80TH AVE SE  
 MERGER ISLAND, WA 98040  
 OWNER:  
 SURIVA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
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ISSUANCES	DATE	DESCRIPTION
	06.12.2023	BUILDING PERMIT
	07.26.2023	PERMIT CORRECTIONS CYCLE 1

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.  
 ORIGINAL SHEET SIZE: 8.5" X 11"

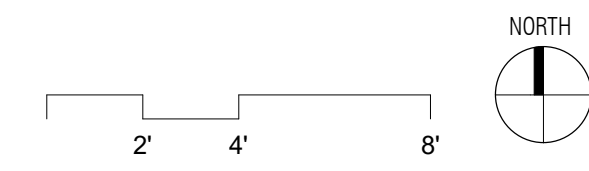
BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

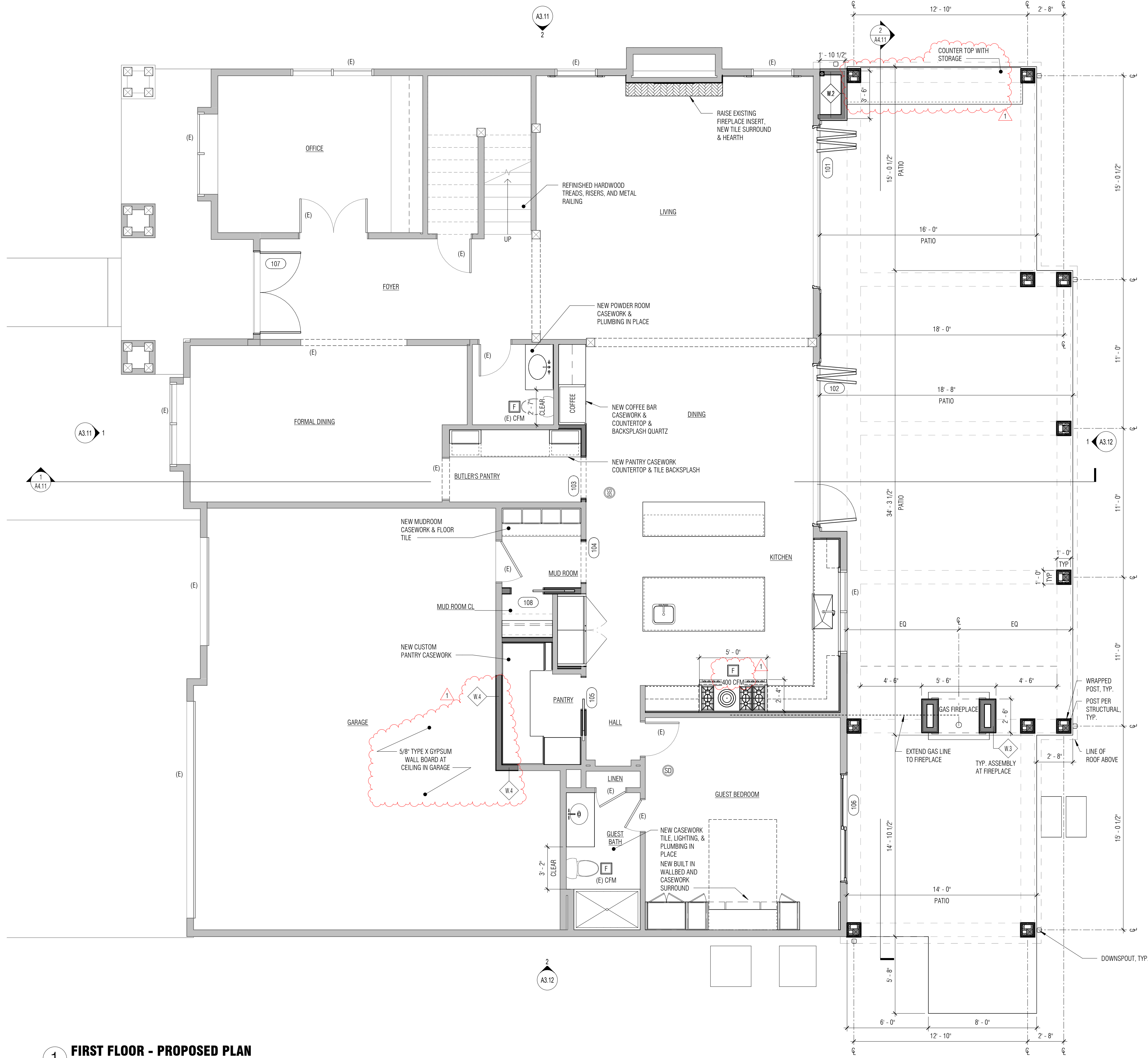
**SECOND FLOOR - DEMOLITION PLAN**

SHEET NO.:

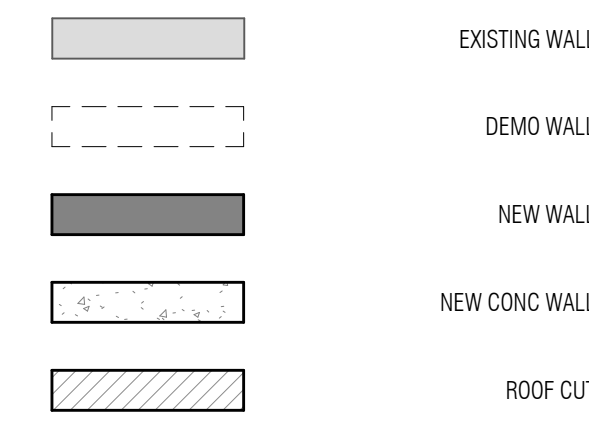
**1 SECOND FLOOR - DEMOLITION PLAN**  
 1/4" = 1'-0"



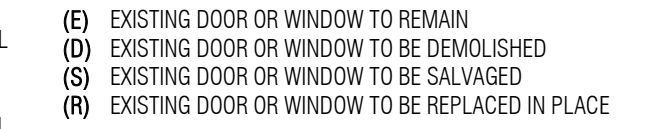
**A2.12**



**WALL KEY**



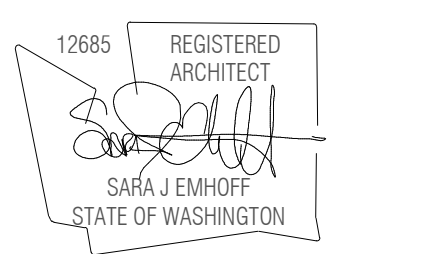
**WINDOW / DOOR KEY**



**GENERAL PLAN NOTES**

- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- SEE SHEET A9.11 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W-0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL. COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- SEE SHEET A9.11 FOR DOOR AND WINDOW SCHEDULES.
- NON-DIMENSIONED WINDOWS AND WINDOWS DESIGNATED WITH 'R' DENOTE REPLACEMENTS PER EXISTING ROUGH OPENINGS. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4'-1 1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
- NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.
- ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL CASEWORK DETAIL.
- PLANS SHOW SCHEMATIC DESIGN DIRECTION FOR INITIAL BUDGET. ADDITIONAL DEVELOPMENT TO FOLLOW.

**1 FIRST FLOOR - PROPOSED PLAN**  
1/4" = 1'-0"



JURISDICTION STAMP AREA

**GRIMA RESIDENCE**

PROJECT ADDRESS:  
4808 80TH AVE SE  
MERGER ISLAND, WA 98040  
OWNER:  
SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
1	2023.07.26	PERMIT CORRECTIONS CYCLE 1

ISSUANCES

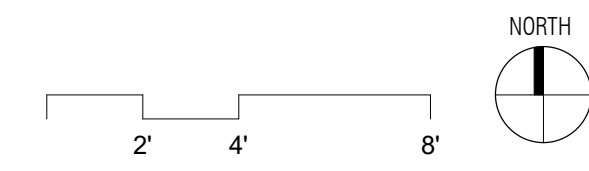
DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

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ORIGINAL SHEET SIZE: 11' x 17'  
BOARD & VELLUM PROJECT #: 2021024.00  
JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

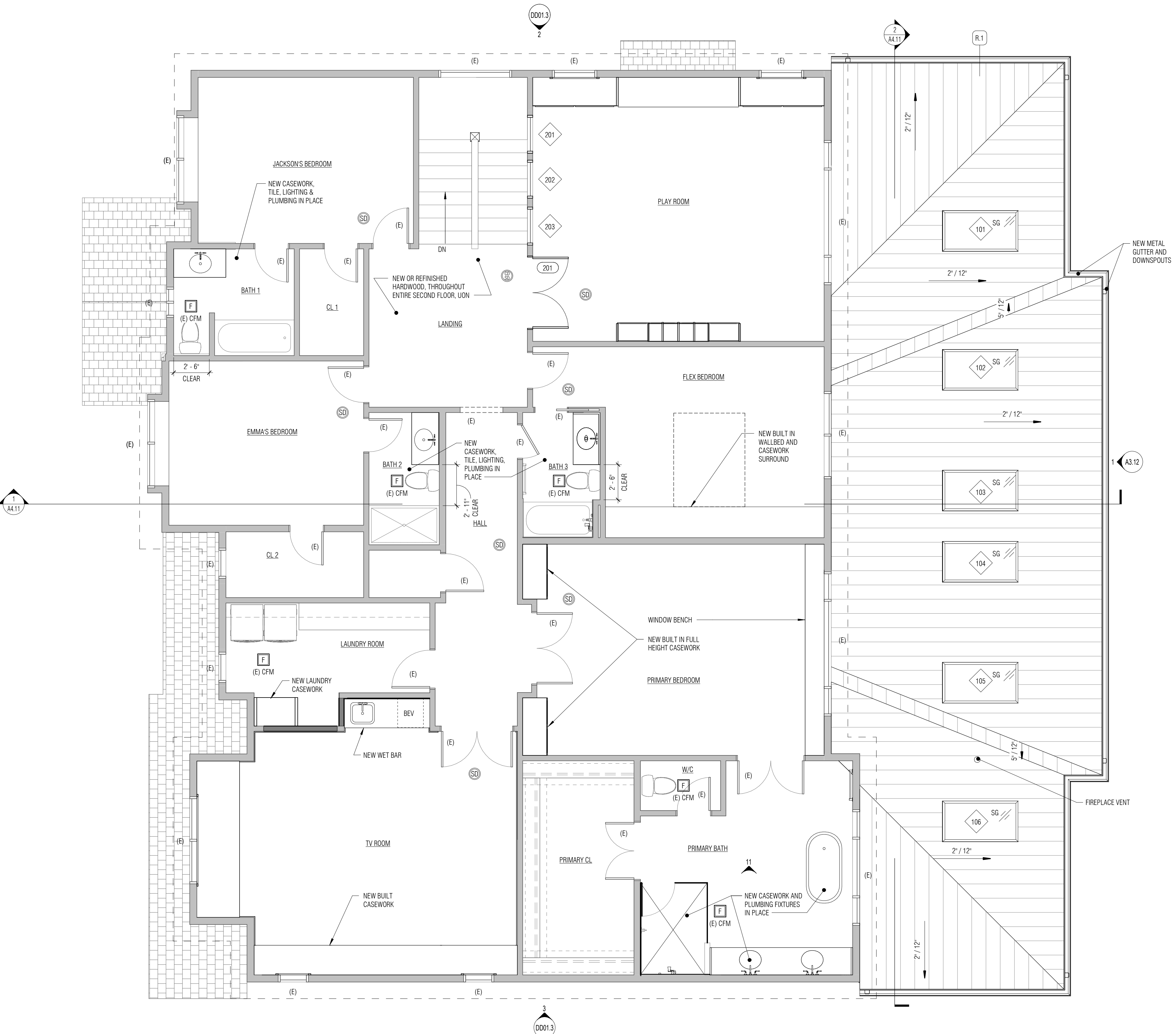
**FIRST FLOOR - PROPOSED PLAN**

SHEET NO.:

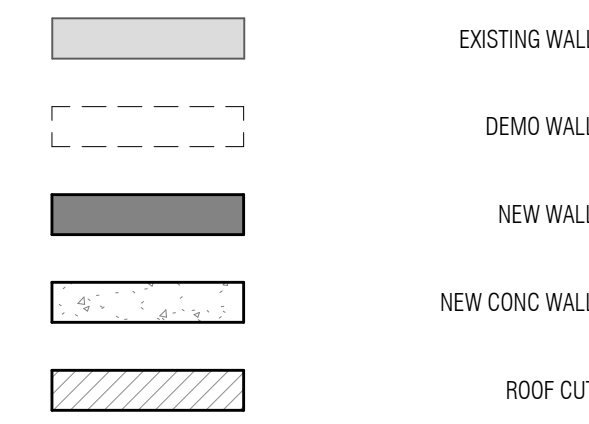


**A2.22**

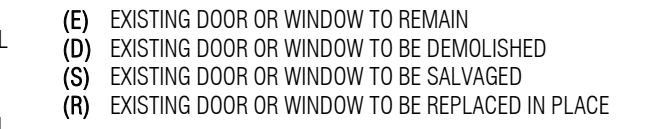




**WALL KEY**

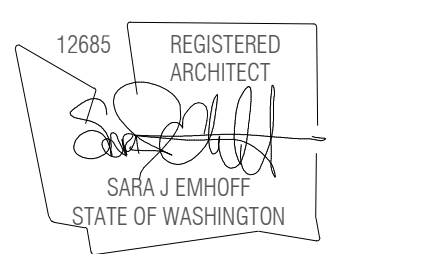


**WINDOW / DOOR KEY**



**GENERAL PLAN NOTES**

- SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- SEE SHEET A9.11 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL. COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
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- ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL CASEWORK DETAIL.
- PLANS SHOW SCHEMATIC DESIGN DIRECTION FOR INITIAL BUDGET. ADDITIONAL DEVELOPMENT TO FOLLOW.



JURISDICTION STAMP AREA

**GRIMA RESIDENCE**  
 PROJECT ADDRESS:  
 4808 80TH AVE SE  
 MERGER ISLAND, WA 98040  
 OWNER:  
 SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

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 ORIGINAL SHEET SIZE: 8 1/2" X 14"

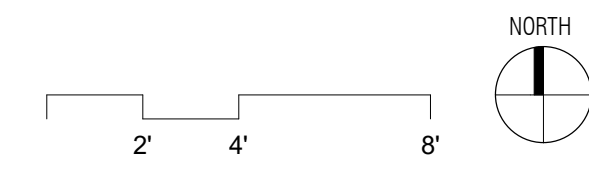
BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

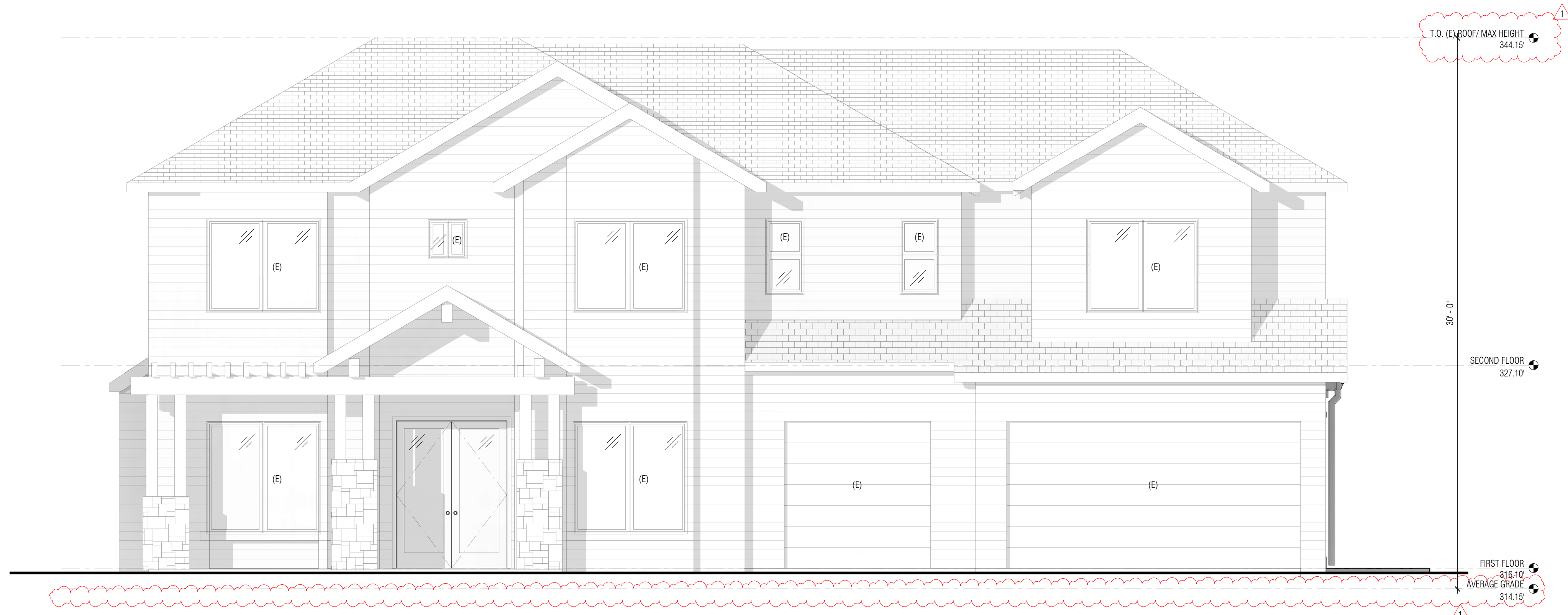
SECOND FLOOR - PROPOSED PLAN

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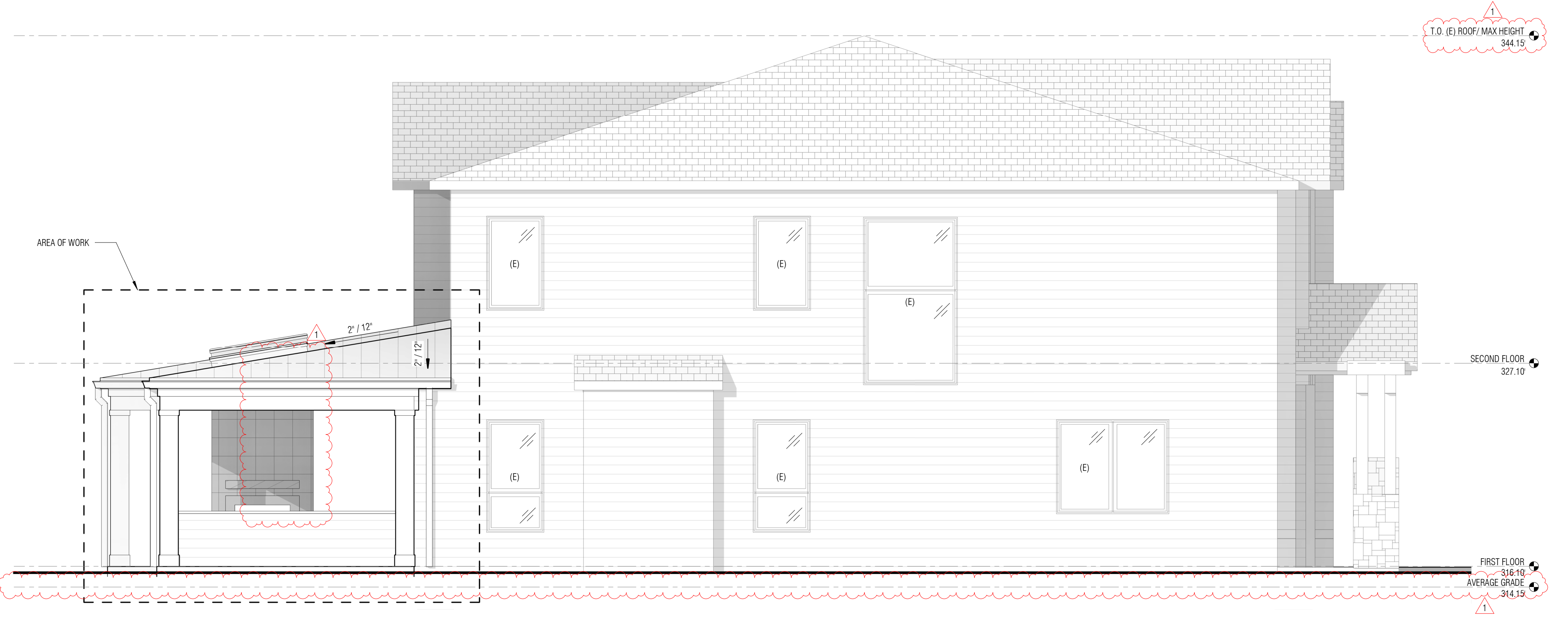
**1 SECOND FLOOR - PROPOSED PLAN**  
 1/4" = 1'-0"



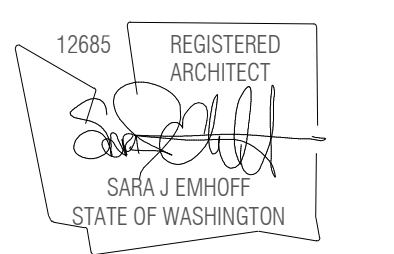
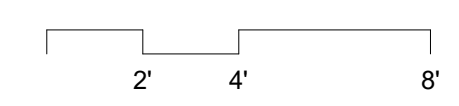
**A2.23**



**1 WEST ELEVATION FOR REFERENCE - NO WORK**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"



JURISDICTION STAMP AREA

**GRIMA RESIDENCE**

PROJECT ADDRESS:  
408 80TH AVE SE  
MERGER ISLAND, WA 98040  
OWNER:  
SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
1	2023.07.26	PERMIT CORRECTIONS CYCLE 1

ISSUANCES

DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

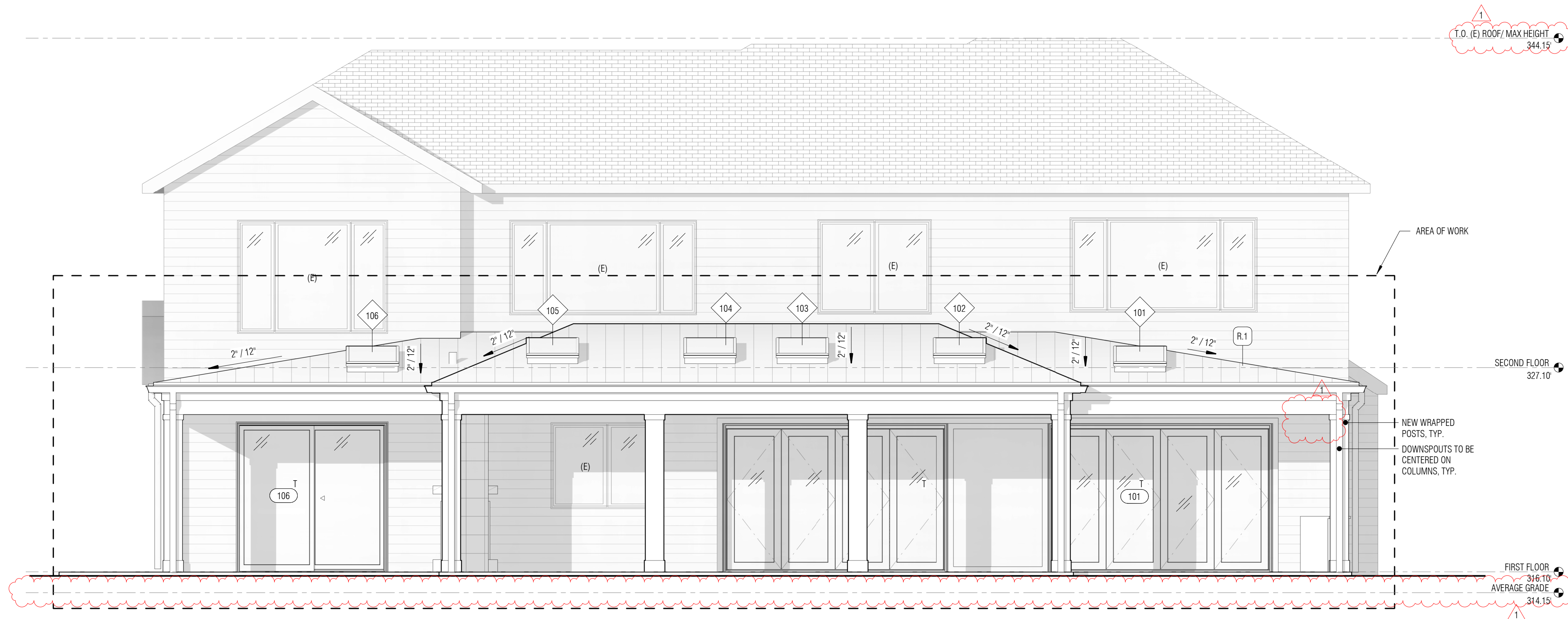
COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.  
ORIGINAL SHEET SIZE: 8.5" X 11"  
BOARD & VELLUM PROJECT #: 2021024.00  
JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

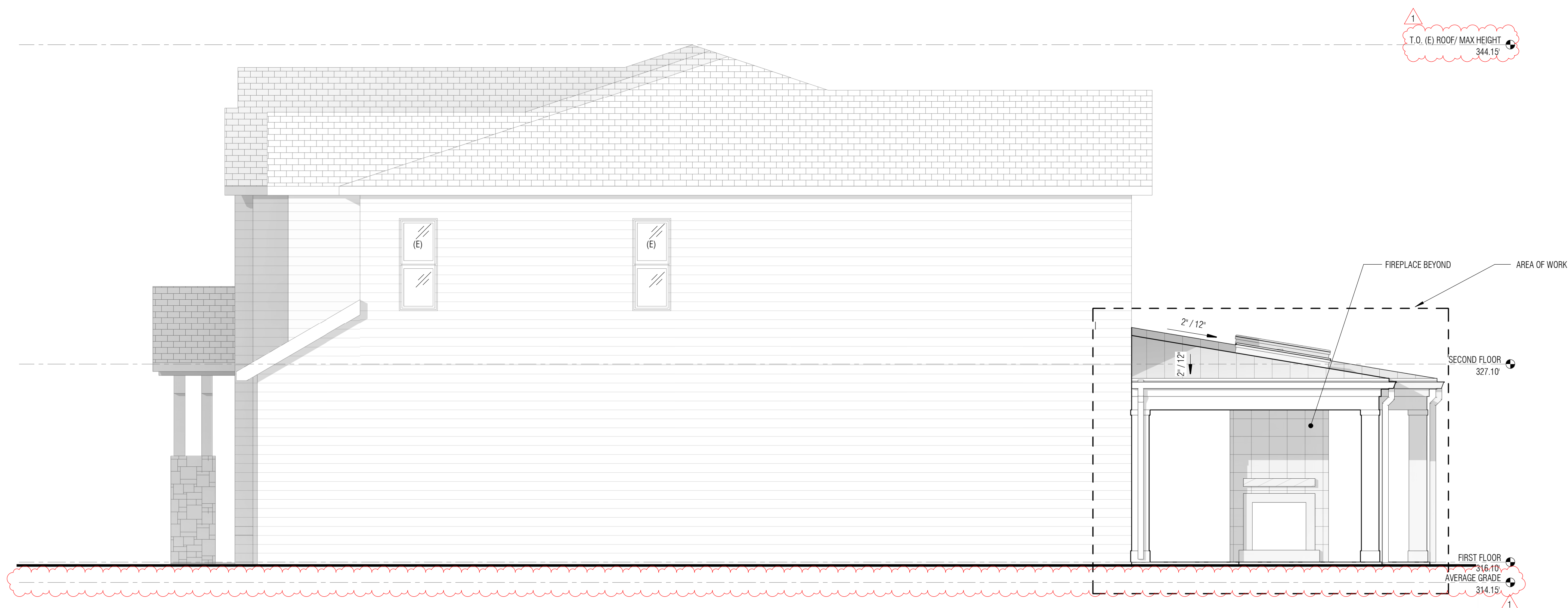
**PROPOSED EXTERIOR ELEVATIONS**

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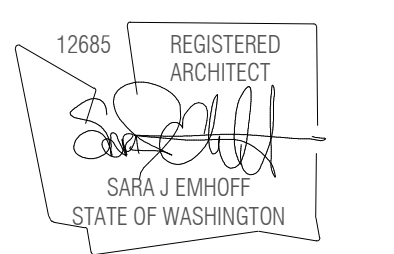
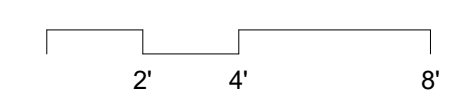




**1 EAST ELEVATION**  
1/4" = 1'-0"



**2 SOUTH ELEVATION**  
1/4" = 1'-0"



JURISDICTION STAMP AREA

**GRIMA RESIDENCE**

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4808 80TH AVE SE  
MERGER ISLAND, WA 98040  
OWNER:  
SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
1	2023.07.26	PERMIT CORRECTIONS CYCLE 1

ISSUANCES

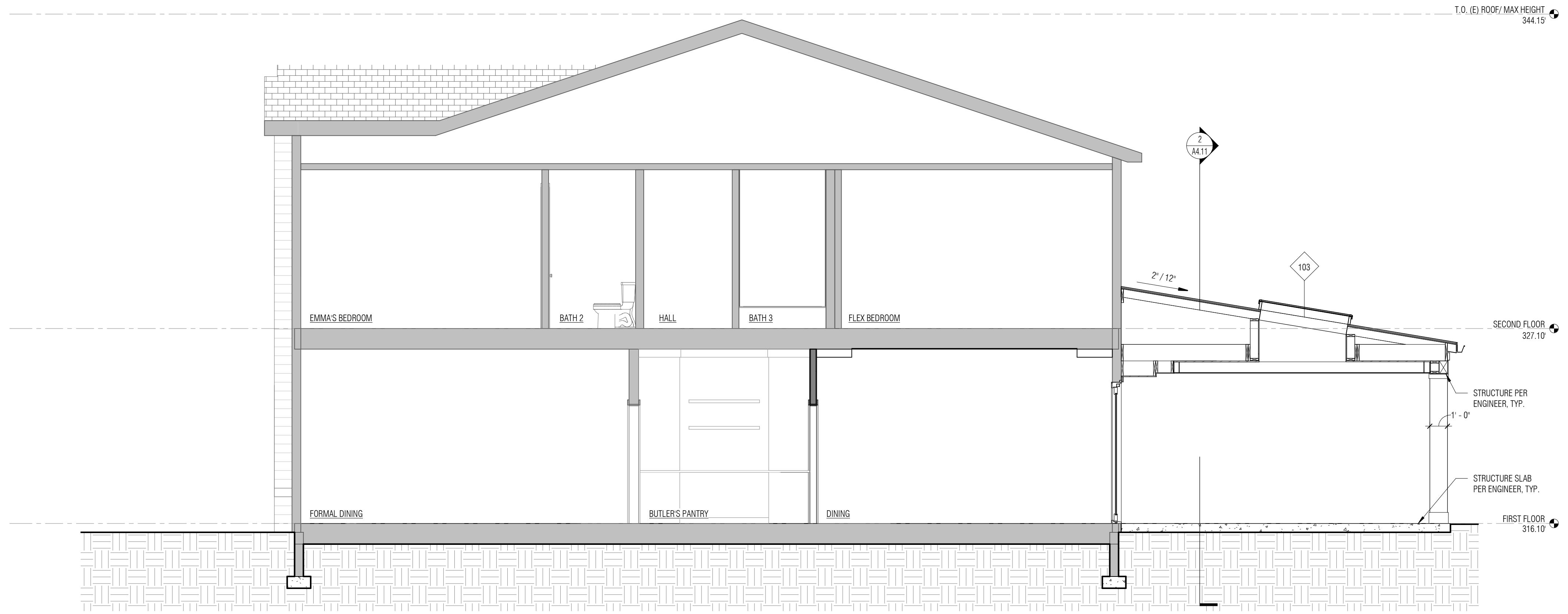
DATE	DESCRIPTION
06.12.2023	BUILDING PERMIT
07.26.2023	PERMIT CORRECTIONS CYCLE 1

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.  
ORIGINAL SHEET SIZE: 8.5x14.5"  
BOARD & VELLUM PROJECT #: 2021024.00  
JURISDICTION PROJECT #: TBD

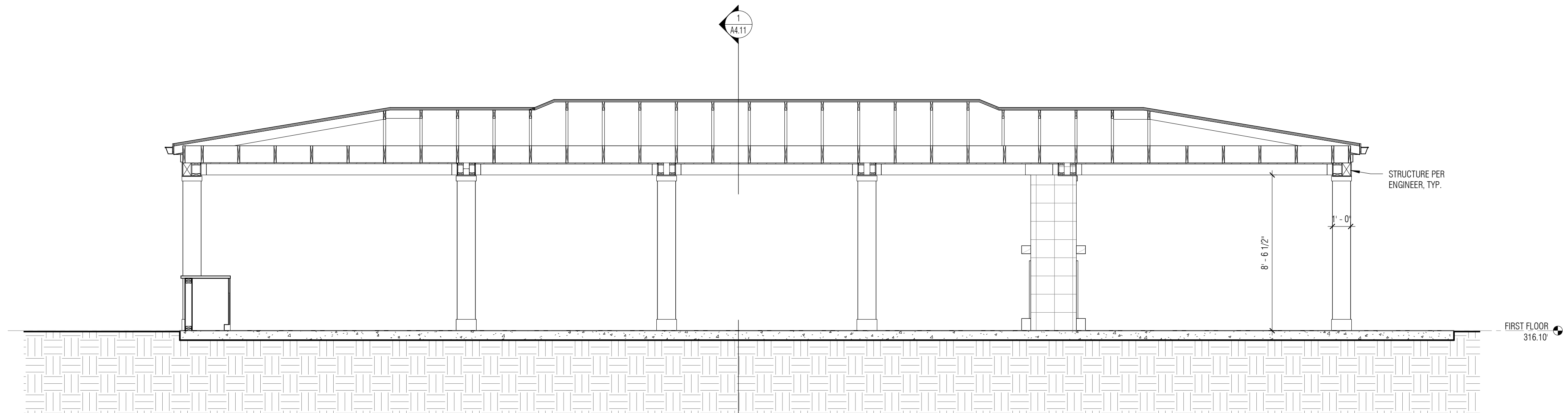
PLOT DATE: 07.26.2023

**PROPOSED EXTERIOR ELEVATIONS**

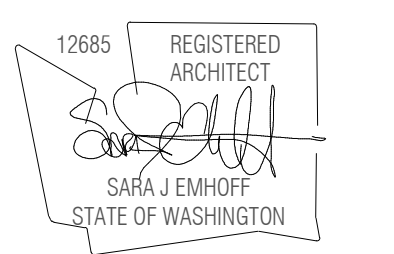
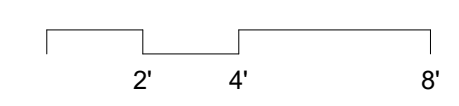
SHEET NO.:



1 **BUILDING SECTION - EAST/WEST**  
1/4" = 1'-0"



2 **BUILDING SECTION - COVERED PATIO**  
1/4" = 1'-0"



JURISDICTION STAMP AREA

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REVISION	DATE	DESCRIPTION
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ISSUANCES

DATE	DESCRIPTION
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07.26.2023	PERMIT CORRECTIONS CYCLE 1

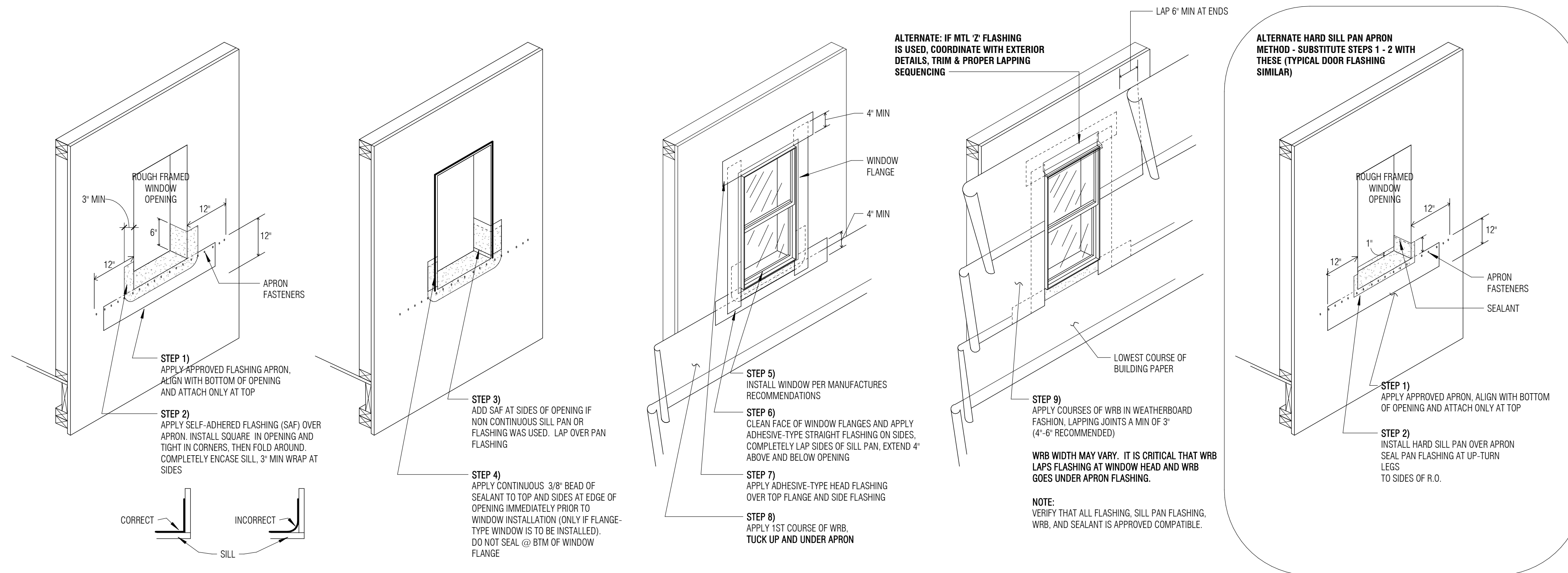
COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.  
ORIGINAL SHEET SIZE: 8.5x14.5"  
BOARD & VELLUM PROJECT #: 2021024.00  
JURISDICTION PROJECT #: TBD

PLOT DATE: 07.26.2023

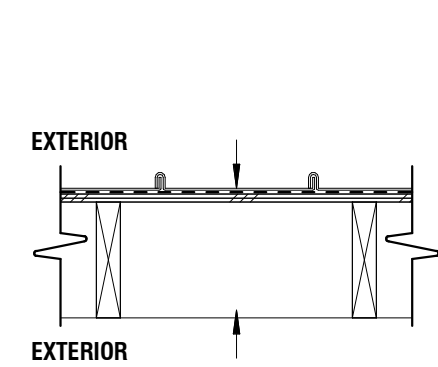
**PROPOSED BUILDING SECTIONS**

SHEET NO.:





**A9.21 - WINDOW FLASHING DETAIL (SIM @ DOOR FLASHING)**

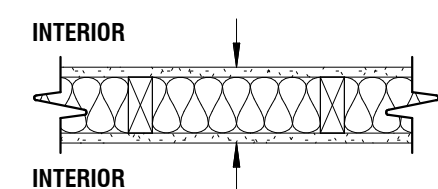


**ROOF ASSEMBLIES**

NOTE: ALL ASSEMBLIES ARE LISTED FROM EXTERIOR TO INTERIOR, TOP TO BOTTOM, UNO.

**R.1 UNVENTED SLOPED ROOF EAVE ASSEMBLY**

- SS MTL ROOF
- ICE & WATER SHIELD
- SHEATHING
- FRAMING PER STRUCTURAL

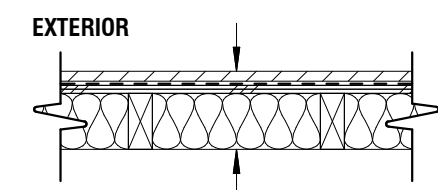


**WALL ASSEMBLIES**

NOTE: ALL ASSEMBLIES ARE LISTED FROM TOP TO BOTTOM, EXTERIOR TO INTERIOR, UNO.

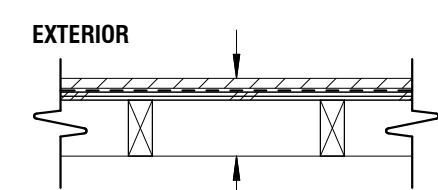
**W.1 NEW INTERIOR WALL ASSEMBLY**

- FINISH PER SPECIFICATIONS
- GYPSUM WALL BOARD
- 2x4 FRAMING, UNO
- ACOUSTIC INSULATION PER PLANS
- GYPSUM WALL BOARD
- FINISH PER SPECIFICATIONS



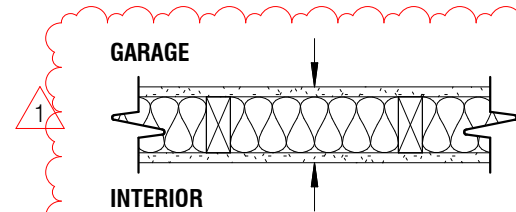
**W.2 - EXTERIOR WALL ASSEMBLY**

- SIDING PER ELEVATIONS
- TYPE III WRB PER SPECIFICATIONS
- SHEATHING PER STRUCTURAL
- 2x4 FRAMING
- R-21 INSULATION PER SPECIFICATIONS
- AIR & TYPE III VAPOR BARRIER PER SPEC



**W.3 - EXTERIOR FIREPLACE ASSEMBLY**

- TILE PER ELEVATIONS
- TYPE III WRB PER SPECIFICATIONS
- SHEATHING PER STRUCTURAL
- 2x4 FRAMING
- AIR & TYPE III VAPOR BARRIER PER SPEC



**W.4 NEW FIRE RATED WALL ASSEMBLY PER IRC R302.6**

- FINISH PER SPECIFICATIONS
- 1/2" TYPE X GYPSUM WALL BOARD (GARAGE SIDE)
- 2x4 FRAMING, UNO
- ACOUSTIC INSULATION PER PLANS
- 1/2" GYPSUM WALL BOARD
- FINISH PER SPECIFICATIONS

**WINDOW SCHEDULE**

MARK	LOCATION	HEIGHT	WIDTH	HEAD HEIGHT	OPERATION	U FACTOR	SAFETY GLAZING	EGRESS	NOTES
FIRST FLOOR									
101	PATIO ROOF	3'-0"	5'-0"		FIXED	0.30		●	SKYLIGHT
102	PATIO ROOF	3'-0"	5'-0"		FIXED	0.30		●	SKYLIGHT
103	PATIO ROOF	3'-0"	5'-0"		FIXED	0.30		●	SKYLIGHT
104	PATIO ROOF	3'-0"	5'-0"		FIXED	0.30		●	SKYLIGHT
105	PATIO ROOF	3'-0"	5'-0"		FIXED	0.30		●	SKYLIGHT
106	PATIO ROOF	3'-0"	5'-0"		FIXED	0.30		●	SKYLIGHT
SECOND FLOOR									
201	PLAY ROOM	1'-5"	2'-8"	8'-3"	FIXED	0.0000			INTERIOR
202	PLAY ROOM	1'-5"	2'-8"	8'-3"	FIXED	0.0000			INTERIOR
203	PLAY ROOM	1'-5"	2'-8"	8'-3"	FIXED	0.0000			INTERIOR

**WINDOW NOTES**

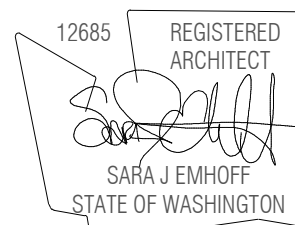
1. WINDOW HEAD HEIGHTS MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF GYPCRETE TOPPING SLAB.
2. WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING OPENINGS.
3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.
7. CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

**DOOR SCHEDULE**

MARK	LOCATION	DOOR SIZE		OPERATION	EXTERIOR	U FACTOR	NOTES
		WIDTH	HEIGHT				
FIRST FLOOR							
101	LIVING	12'-0"	8'-0"	BI-FOLD	●	0.30	
102	DINING	12'-0"	8'-0"	BI-FOLD	●	0.30	
103	BUTLERS PANTRY	3'-0"	6'-8"	CASED OPENING			MATCH EXISTING
104	MUD ROOM	3'-0"	6'-8"	CASED OPENING			MATCH EXISTING
105	PANTRY	2'-4"	6'-8"	POCKET			MATCH EXISTING
106	GUEST BEDROOM	8'-0"	8'-0"	SLIDER	●	0.30	
107	FRONT ENTRY DOOR	6'-0"	8'-0"	SWING (DOUBLE)	●	0.30	
108	MUDROOM	2'-4"	6'-8"	POCKET			MATCH EXISTING
SECOND FLOOR							
201	PLAY ROOM	5'-0"	8'-0"	SWING			FULL LITE

**DOOR NOTES**

1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE EXCEPT IN THE CASE OF UNIT DOORS, WHERE IT INDICATES FRAME OPENING SIZE. UNIT DOORS ARE NOTED IN SCHEDULE.
2. VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
4. IN REMODELS, EXTERIOR DOOR SIZES INDICATED MAY BE APPROXIMATE. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
5. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
8. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
9. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.



JURISDICTION STAMP AREA

**GRIMA RESIDENCE**

PROJECT ADDRESS:  
 4808 80TH AVE SE  
 MERGER ISLAND, WA 98040

OWNER:  
 SURIYA GRIMA AND NATHAN FAHRER

REVISION	DATE	DESCRIPTION
1	2023.07.26	PERMIT CORRECTIONS CYCLE 1

ISSUANCES

DATE	DESCRIPTION
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07.26.2023	PERMIT CORRECTIONS CYCLE 1

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 ORIGINAL SHEET SIZE: 8 1/2" X 11"

BOARD & VELLUM PROJECT #: 2021024.00  
 JURISDICTION PROJECT #: TBD

DATE PLOT: 07.26.2023  
**WINDOW / DOOR SCHEDULES + ASSEMBLIES**

SHEET NO.:

**A9.11**



## General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

### CRITERIA

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- DESIGN LOADING CRITERIA:
 

RESIDENTIAL – ONE AND TWO-FAMILY DWELLINGS	
FLOOR LIVE LOAD . . . . .	40 PSF
ROOF . . . . .	
ROOF LIVE LOAD . . . . .	25 PSF
DEFLECTION CRITERIA	
LIVE LOAD DEFLECTION . . . . .	L/360
TOTAL LOAD DEFLECTION . . . . .	L/240
ENVIRONMENTAL LOADS	
SNOW . . . . .	Ce=1.0, Is=1.0, Ct=1.1, Cs=1.0, Pg=25 PSF, Pf=25 PSF
WIND . . . . .	Gcpi=0.18, 98 MPH, RISK CATEGORY II, EXPOSURE "B"
EARTHQUAKE . . . . .	ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
	LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS
	SITE CLASS=D (DEFAULT), Ss=1.41, Sds=1.00, S1=0.49,
	Sd1=0.59 Cs=0.154, SDC D, Ie=1.0, R=6.5
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

### GEOTECHNICAL

- FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE IS ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.
 

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.	
ALLOWABLE SOIL PRESSURE. . . . .	2000 PSF

### RENOVATION

- DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

- CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

### CONCRETE

- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF  $f'c = 3,000$  PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS  $f'c = 2,500$  PSI.
- ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.
- DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 318R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM.
 

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH . . . . .	3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . . . .	1-1/2"
SLABS. . . . .	GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

### ANCHORAGE

- EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-36" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4057. MINIMUM BASE MATERIAL TEMPERATURE IS 40 DEGREES. F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- CONCRETE SCREW ANCHORS INTO CONCRETE SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS.

### WOOD

- FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCL18 STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WMPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:
 

JOISTS AND BEAMS (2X & 3X MEMBERS)	HEM-FIR NO. 2	MINIMUM BASE VALUE, Fb = 850 PSI
(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1	MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS (INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1	MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS (4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2	MINIMUM BASE VALUE, Fc = 1350 PSI
(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1	MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2	OR HEM-FIR NO. 2
- GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.

- MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 

PSL (2.0E WS)	Fb = 2900 PSI,	E = 2000 KSI,	Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI,	E = 2000 KSI,	Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI,	E = 1550 KSI,	Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- ALL WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE.

- PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

- FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

- TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "WIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

- WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
8d	2-1/2"	0.131"
10d	3"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS – PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

- ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

- NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

- WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

- FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

- WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION, CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8" OF VERTICAL MOVEMENT PER FLOOR LEVEL.



DRAWN:	ETC
DESIGN:	ETC
CHECKED:	RJA
APPROVED:	RJA

REVISIONS:	

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:  
**Grima-Fahrer Residence**

4008 90th Avenue SE  
Mercer Island, WA 98040

ARCHITECT:  
**Board & Vellum**  
115 15th Avenue E, Suite 100  
Seattle, WA 98112

p 206.707.8895

ISSUE:  
**Permit**

SHEET TITLE:

**General Structural Notes**

SCALE: --

DATE: **June 9, 2023**

PROJECT NO: **10539-2023-03**

SHEET NO:

# S1.1

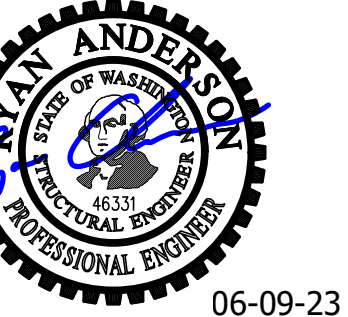












06-09-23

DRAWN: ETC  
 DESIGN: ETC  
 CHECKED: RJA  
 APPROVED: RJA

REVISIONS:


JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Grima-Fahrer Residence

4008 90th Avenue SE  
 Mercer Island, WA 98040

ARCHITECT:  
**Board & Vellum**  
 115 15th Avenue E, Suite 100  
 Seattle, WA 98112

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ISSUE:

Permit

SHEET TITLE:

**Roof Framing Plan**

SCALE: 1/4" = 1'-0" U.N.O.

DATE: June 9, 2023

PROJECT NO: 10539-2023-03

SHEET NO:

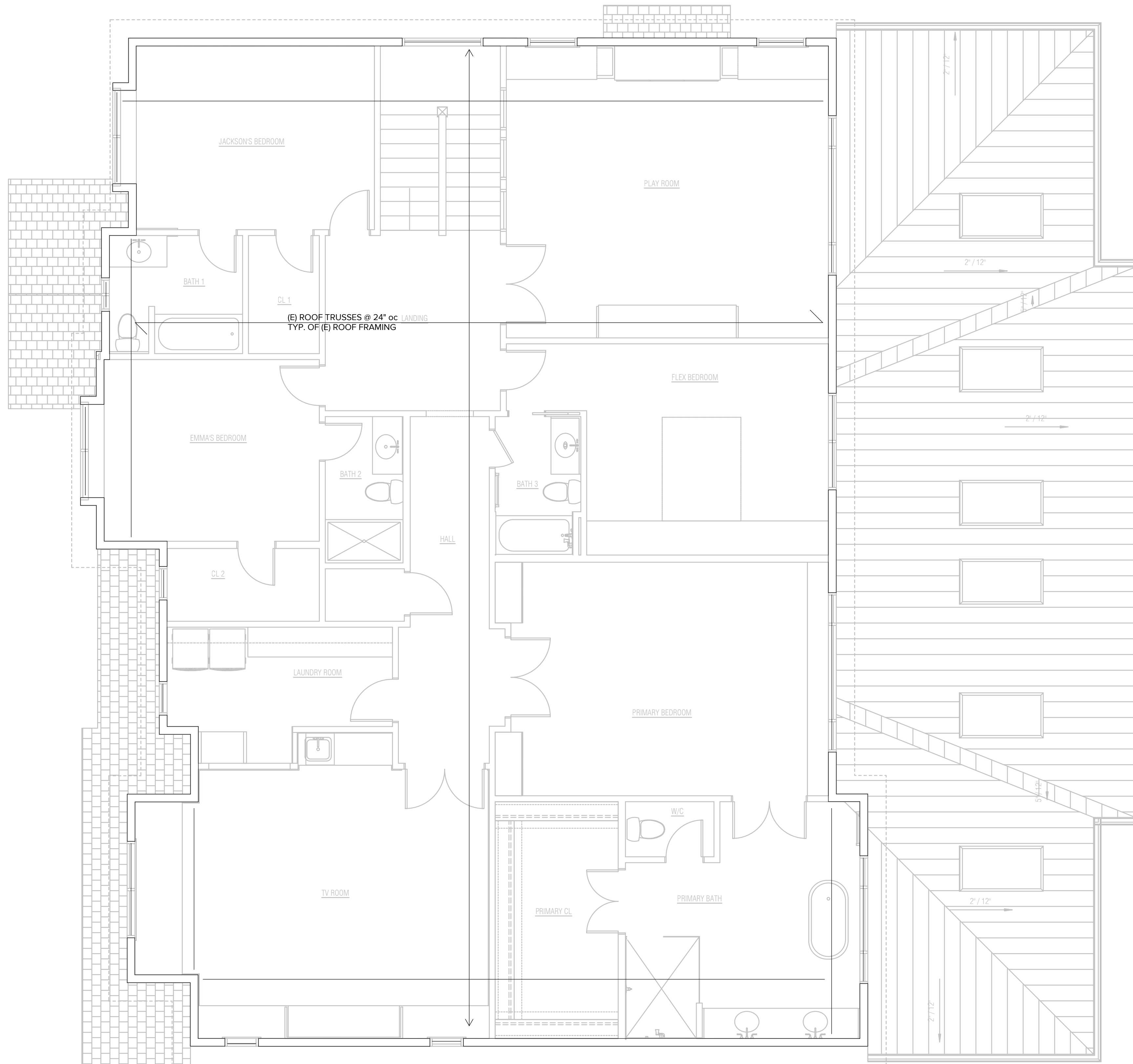
**S2.3**

**LEGEND**

NEW STRUCTURAL WALL OR POST BELOW	
EXISTING STRUCTURAL WALL OR POST BELOW	
STRUCTURAL WALL OR POST ABOVE	
NEW BEAM OR HEADER	
EXISTING BEAM OR HEADER	
SPAN DIRECTION	
FRAMING EXTENT	
HANGER	
SHEARWALL PER 5/S3.1	

**ROOF FRAMING PLAN NOTES**

1. NO PROPOSED WORK AT THIS LEVEL



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"





