CITY OF MERCER ISLAND

Community Planning & Development 9611 SE 36TH STREET | MERCER ISLAND, WA 98040 PHONE: 206.275.7605 | www.mercerisland.gov



INSPECTION REQUESTS:

oniii	ne:
_	MyBuildingPermit.com
voic	email:

(206) 275-7730

IOTE: ALL	RECORDS AND	DRAWINGS A	RE SUBJECT	TO PUBLIC I	DISCLOSURE	AS REQUIRED	BY RCW	42.56

CONTACT INFORMATION: Applicant is to complete the following information.				
Applicant Contact information prior to permit issuance:	Applicant Contact information post permit issuance:			
Name: ROBIN QUINN, BOARD AND VELLUM	Name: ROBIN QUINN, BOARD AND VELLUM			
Address: 115 15TH AVE E STE 100, SEATTLE WA 98112	Address: 115 15TH AVE E STE 100, SEATTLE WA 98112			
Phone: (206) 707-8895	Phone: (206) 707-8895			
Email: robin@boardandvellum.com	Email: robin@boardandvellum.com			

	w. Do not cover or conceal any work prior to the City		n.	
STI	RUCTURAL OBSERVATION BY ENGINEER OF RECOR			
	gineer of Record: General Conformance to Construction Documents			Other:Phone:
		S	ш	Other:
	DILS / GEOTECHNICAL:			
	ecial Inspector:	Comp		Phone:
⊑	Erosion control measures			Subsurface drainage placement
늗	Shoring installation and monitoring Observe and monitor excavation		- H	Verify fill material and compaction
	Verification of soil bearing		- H	Pile placement (auger cast/driven pile)
	Other:			Other:
-	INFORCED CONCRETE:			
	ecial Inspector:	Comp	anv:	Phone:
	Concrete strength	Comp		Retaining wall construction
F	Reinforcing steel and concrete placement			Prestressed / Precast construction
Ē	Shotcrete placement			Other:
Ē	Other:		_ 6	Other:
	RUCTURAL STEEL: (AISC 200, Chapter N)			
	ecial Inspector:	Comp	anv.	Phone:
Jp.	Fabrication and shop welds	comp		
	Fabrication and shop welds Structural steel erection, field welds and bolting		-님	Moment Frame construction Other:
	Other:			Other:
			_	
	RUCTURAL MASONRY: ecial Inspector:	Comm	anv.	Phone:
	Mortar strength	comp		
	Masonry unit strength			Glass unit masonry installation Wall panel and veneer installation
	Other:			Other:
	Other:		ΤĦ	Other:
E	Lateral resisting system construction Other:			High strength diaphragm construction Other:
ОТ	THER SPECIAL INSPECTIONS:			
	ecial Inspector:	Comp	anv:	Phone:
	Epoxy grout installations			Stucco installation
Ē	Expansion anchor installations		_ 🗆	Infiltration System
	Other post installed anchors			Exterior Insulation Finish System (EIFS) installation
	Alternative construction methods:			Other:
	Alternative construction materials: -ERRED SUBMITTALS:		_ ⊔	Other:
		ls / shop dr	awin	gs for submittal to the City for review and approval prior to i
abric	cation / construction.			
무	Connector plate wood trusses			Post tension layout
	Metal joist / metal trusses Premanufactured structures (stairs, etc.)			Exterior cladding Window wall / curtain wall construction
	Precast concrete elements			Other:
	Other:			Other:
ENIE	ERGY CODE COMPLIANCE INFORM	IATION		
ndia			oot A	Iternatively, incorporate or include the Residential Energy C
	riptive Compliance (RECPC) Form into the drawing		set. A	iternatively, incorporate or include the Residential chergy c
		eet:		
	318			
V	Building envelope: MSCC TRADE 402.2.1	1.01	☑	Air Leakage Testing, in: Section MOZ-41.2 100 Amendments
	(include U-factors, insulation and moisture control)			✓ Provide air leakage test report verifying air leakage rate
_		1.01	_	does not to exceed 5 air changes per hour.
Z	(include ventilation option and duct sizing if applicable)	1.01	М	Duct Leakage Testing, weec + 452.2
			_ ⊻	Postconstruction Test. MSIC MODI 22.1 Rough-in Test. MSIC MODI 22.2
Z	(include specific, written requirements)	1.01	M	ROUBH-IN Test, wscoms.zzs
Z	(include specific, written requirements)	1.01	M	ROUGH-IN Test, wiscomszzz

Construction of the project shall be from approved plans only. No decisation from the approved grocet plans is allowed without prior approved from the City of Marcer shand. Approved plans must be kept on site and maintained in good condition. **Refer to *Conditions** of Permit Approved "Permit Approved by Permit Ap	PROJECT ALERTS: Construction of the project shall be from approved	d plans only. No deviation from the approved project plans is allowed without prior
must remain in place throughout the project. No trees shall be cut without a City of Mercer Island tree permit. Replacement trees must be a minimum of six feet tail at installation. They must be glanted and approved prior to final inspection. For this project, (IVa.] Trees are authorized to be removed and replaced with IVA. trees. When the common is a minimum of six feet tail at installation. They must be glanted and approved prior to final inspection. For this project, (IVa.) Trees are authorized to be removed and replaced with IVA. trees. When the common is a minimum of the common is a minimu	✓ Refer to "Conditions of Permit Approval" pro	wided at permit issuance for required construction rules and regulations, including: • ROW restriction • Drainage Requirements • Drainage Requirements • Sewer Requirements • Water Service Requirements • Water Service Requirements • Tree Requirements • rowled at the proconstruction meeting for development related requirements, in numbers visible from the street must be installed.
Plus	must remain in place throughout the project. Most reside blue cut without a City of Mecree Replacement trees must be a minimum of six for this project, IVA Trees are authorized the project place Trees are authorized website at html://www.frees.gov/pacific/agele REPROTECTION REQUIREMENT Separate Permits are required for ALL fire protection Fire Sprinked.	Island tree permit. Island tr
PFA3	Plus	Monitored Sprinkler
PRAS PRAS PRAS PRAS	□ NFPA 13R	Water Flow Alarm
WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required City instantion in the control of the	Approved Fire Code Alternatives:	
Water Supply REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required City Installation. Applicant Installation. Applicant Installation. Applicant Installation. Required Supply Line Size: N/A Required Meter Size: N/A Required Size: N/A Required Meter Size		
California Installation. Applicant Installation. Applicant Installation. Applicant Installation. Required Service Line Size: N/A Required Supply Line Size: N/A Required Meter Size: N/A Required Met	LI FCA2	
California Installation. Applicant Installation. Applicant Installation. Applicant Installation. Required Service Line Size: N/A Required Supply Line Size: N/A Required Meter Size: N/A Required Met	WATER SUPPLY REQUIREMENTS:	
Direct discharge into the lake. Direct discharge into the lake. On site detention system required. On site distriction system required. On site distriction system required. On site distriction system required. On site militarion system required. Other: Other systems of the	Water Supply system upgrade required City Installation. Applicant Installation. Required Service Line Size: №A I (water main to meter) Abandonment of existing service and meter r Pressure reducing valve required if pressure Reduced pressure backflow assembly (RPBA) or lake irrigation).	Required Supply Line Size: W/A Required Meter Size: W/A water main to house) required at main. exceeds 80 ps.s.
On site detention system required. On site detention system required. On site detention system required. On site distriction system required. Other: On site distriction system required. Other:		
Solveyor REQUIREMENTS Connection to public storm drainage conveyance system rec's classification and provided in the connection of public storm drainage conveyance system rec's classification and provided in the connection of the lowest plumbing fixture i lower than the elevation of the upstrain manhole rim or when side sever is shared with one or more properties.		C Nicos discharge interate late
Gherry Gravings required. Gherry	On site infiltration system required.	☐ No Storm Water permit required
SIDES FWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture i lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. Welve connection Connect to establing Disconnect permit required. Reconnect permit required. New connection Connect to establing Disconnect permit required. Reconnect permit required. Note: In the middle sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of Mercer Island Maintenance Department at (206) 275-7800. APPROVED CODE AL FRINATIVES: Code alternatives must be inspected. Refer to the inspection Checklist CA1:	As-built Utility drawings required	Connection to public storm drainage conveyance system req'd.
Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an imprevious area survey at any time prior to issuance of Certificate of Occupancy. Surveyor: Building height survey Building height survey Building setback s	lower than the elevation of the upstream ma Video tage of existing sewer required (see sti New connection. Connect to Other: South of the still sever is to be connected to Mercer island Maintenance Departme APPROVED CODE ALTERNATIVES. Code alternatives must be inspected. Refer to the I	anhole rim or when side sewer is shared with one or more properties. andard details) Disconnect permit required. ☐ Reconnect permit required. or the lake line you will need to schedule three (3) days in advance with the City of that (206) 275-7800.
Impervious surface survey Other:	Inspection. A property survey may be required to v reserves the right to request an impervious area su Surveyor:	verify setbacks and in some cases buildings must be surveyed onto the lot. The City urvey at any time prior to issuance of Certificate of Occupancy.
GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver. Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times. Geotechnical Trapleser SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and exavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.	Impervious surface survey Other: MAXIMUM 40 PERCENT ALTERATION INSPECATION INSPECATION INSPECATION INSPECATION OF THE WALLING SENTING SENTING SENTING INSPECATION OF THE WALLING SENTING INSPECATION WALLING SENTING INSPECATION WALLING SENTING SENTING INSPECATION WALLING SENTING S	is required for all legally nonconforming single family dwelling to ensure no more than s are structurally altered. Contact the Building Inspector at (206) 275-7730.
without an approved Seasonal Development Limitation Waiver. Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times. Geotechnical repierer ZASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.	GEOTECHNICAL INFORMATION:	
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Permit number Approved by Date	SEASONAL DEVELOPMENT LIMITATION RESTRIC Applies (Geologic Hazard area). Grading not p Waiver approved. Grading and excavatio Limitation Waiver Permit.	CTION: Dermitted between October 1 through April 1. In permitted subject to all conditions noted in Seasonal Development
	Permit number	Approved by Date

ED BY CP	It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MybuildingPermit.com or by calling the inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection. Inspector shall initial and date appropriate inspection only if approved. Note: Items marked with an "*" require a separate permit. It is the	
BE COMPLETED	applicants responsibility to apply for and obtain all City of Mercer Island permits. INSPECTIONS: Lixed in order of replact sequencing impacts.	S
8	Pre-construction Meeting to Review Conditions of Permit Approval.	
BE	Erosion control	
2	Sewer disconnect and cap. If applicable, separate side-sewer permit required	
_	separate ROW permit required	> -
	Land clearing, grading and demolition	Seer S
	Temporary power Pilings / Shoring / Shotcrete. If applicable, provide survey letter	A I
	(property line); Geotechnical Engineer / Special Inspector	d sha
	reports of inspections (pile and shoring installation, etc.) Footings, setbacks, UFER ground, If applicable, provide survey letter	ition in over
	(building height and setbacks): Special Inspector reports of inspections	bads
	(soil bearing capacity, compaction, earthwork, pile installation, etc.) ———————————————————————————————————	- i= p
	Roof and footing drains	ed ii
	☐ Foundation damproofing ☐ Storm drainage, including (but not limited to):	CATE OF OCCU er all required inspections performed and approved
	Connections to storm Area drains	r all
	main in ROW • Conveyance piping / cleanouts • Detention systems • Storm drain in ROW	ERTIFICATE OF OCCUPANC. Issued after all required inspections have been performed and approved.
	Infiltration systems	∏ pan
	Catch basins including Pump systems Oil-water separator tees Retaining wall drainage	= s
	• Water Service	
	Water Supply Water as-built drawines	
	■☐ Side sewer installation, including (but not limited to):	
	Connections to side Back-flow valves sewer main Grinder pump systems	
	Connections to existing Sewer manholes	
	_side sewer	
	Driveway / Access road Underslab electrical / mechanical / plumbing	Щ
	Underslab insulation / vapor barrier / reinforcing	ပ
۵	Underfloor framing Nailing-Roof sheathing. If applicable, provide Special Inspection	Z
ರಿ	letter for lateral wood inspection.	Ū
BE COMPLETED BY CPD	Nailing-Exterior wall and Shearwall. If applicable, provide Special Inspection letter for lateral wood inspection.	
G	Rough hydronic installation	=
ᇤ	Rough electric installation Rough fire alarm (wiring inspection)	S
ᇫ	Rough plumbing installation (DWV, water)	Щ
⋛	Gas Piping	ĸ
Ö	* Rough fire sprinkler / hydrostatic and flow (bucket) test	~
8	Framing and glazing. If applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.	<u> </u>
2	Masonry construction (fireplace / walls / veneer / etc.)	
	Insulation installation Stucco (paper and lath)	<u> </u>
	Shower pan (or tub)	Į
	Miscellaneous Code Alternative CA1:	⋖
	Code Alternative CA2:	ш
	[mpact Fees Paid (If applicable)	
		GRIMA - FAHRER RESIDENCE
	Final Inspection: Fire protection, including (but not limited to):	2
	Sprinkler Fuel Tank Installation Access Road Fire Extinguishing System	
	Fire Code Alternatives (see below) Fire Alarm System	~
	FCA1: FCA3: FCA4:	75
	Final Inspection: Water supply protection, including (but not limited to) TW	0
	backflow devices for: • Waterfront property • Well water on property	_
	• Fire / lawn sprinkler • Boiler	ູບ
	Final Inspection: Site and utility: includes landscape, utilities and ROW. Site TS restoration complete and as-built drawings ready for submittal.	ZE
	Final Inspection: Building, including electrical / mechanical / plumbing. If	⊃ S
	applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).	<u> </u>
	90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO):	
	Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.	FS SS
		A M
	Approved Start Date End Date	불티를
_	ADDITIONAL REQUIRED CITY INSPECTIONS:	AL AL
9 0	Call the appropriate contact to arrange the inspection.	AT S
>	Required Inspection(s): Contact: Phone: Scheduling:	GS EE
0 8		S S
F		A S
긆		벌
COMPLETED BY	IMPACT FEES: PLAN REVIEW APPROVALS:	BUI
8	If applicable. Not all review disciplines may be required to review the documents. Impact fees apply and are due <i>prior</i> to Final Inspection or on	APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE
BE		PP.
0	, whichever occurs first.	4 0 2

PROJECT ADDRESS: 4008 90TH AVE SE

GRIMA - FAHRER RESIDENCE

BUILDING PERMIT SET - CORRECTIONS CYCLE 1 - 2023 JULY 26



PROJECT INFORMATION

PERMIT NO:	TBD
PROJECT ADDRESS:	4008 90TH AVE SE MERCER ISLAND, WA 98040
ASSESSOR PARCEL NO:	806230-0080
LEGAL DESCRIPTION:	LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEROF RECOREDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON.
PROJECT DESCRIPTION:	INTERIOR REMODEL, COVERED PATIO ADDITION, AND REAR SITE WORK
FIRE SAFETY:	EQUIPPED WITH A NFPA 13D FIRE SPRINKLER SYSTEM (PERMIT 1606-208). VERIFY THAT THE SYSTEM IS OPERATIONAL AND HAS BEEN ANNUALLY TESTED.

VICINITY MAP



PROJECT TEAM

WNER:	CONTACT: SURIYA GRIMA AND NATHAN FAHRER 4008 90TH AVE SE MERCER ISLAND, WA 98040 t: 206.359.3815 nfahrer@perkinscoie.com shgrima@gmail.com	G0.01 COVE G0.02 PROJEC G1.01 BI
RCHITEC	T: BOARD & VELLUM ARCHITECTURE AND DESIGN CONTACT: ROBIN QUINN 115 15TH AVE E. SUITE 100	A1.11 (A1.12

robin@boardandvellum.d www.boardandvellum.d SWENSON SAY FA **CONTACT:** RYAN ANDERSON 2124 THIRD AVE. SUITE SEATTLE, WA 98

CONTRACTOR:

t: 206.443.3 randerson@ssfengineers.c BAKSTAD CONSTRUCTION S2.1 CONTACT: DALEN BAKSTAD 4701 SW ADMIRAL WAY #249 SEATTLE, WA 98116 \$2.3 dalen@bakstadconstruction.com S3.1

DRAWING INDEX

AND NATHAN FAHRER	G0.01	COVER SHEET & GENERAL INFORMATION
4008 90TH AVE SE CER ISLAND. WA 98040	G0.02	PROJECT STANDARDS & CONTRACT NOTES
t: 206.359.3815	G1.01	BUILDING / ENERGY CODE SUMMARY
ahrer@perkinscoie.com		,
shgrima@gmail.com	S	SURVEY
ITECTURE AND DESIGN	A1.11	SITE PLAN
ONTACT: ROBIN QUINN 15TH AVE E. SUITE 100	A1.12	SITE DIAGRAMS
SEATTLE, WA 98112	A2.11	FIRST FLOOR - DEMOLITION PLAN
t: 206.707.8895	A2.12	SECOND-FLOOR - DEMOLITION PLAN
@boardandvellum.com	A2.22	FIRST FLOOR - PROPOSED PLAN
vw.boardandvellum.com	A2.23	SECOND FLOOR - PROPOSED PLAN
SWENSON SAY FAGET	A3.11	PROPOSED EXTERIOR ELEVATIONS
: RYAN ANDERSON, PE	A3.12	PROPOSED EXTERIOR ELEVATIONS
THIRD AVE. SUITE 100	A4.11	PROPOSED BUILDING SECTIONS
SEATTLE, WA 98121 t: 206.443.3112	A9.11	WINDOW / DOOR SCHEDULES + ASSEMBLIES
son@ssfengineers.com		
<u> </u>	S1.1	GENERAL STRUCTURAL NOTES
KSTAD CONSTRUCTION	S2.1	FIRST FLOOR FRAMING & FOUNDATION PLAN

SECOND FLOOR FRAMING PLAN

ROOF FRAMING PLAN

TYPICAL DETAILS

JURISDICTION STAMP AREA

GRIMA RESIDENCE

2023.07.26 PERMIT CORRECTIONS CYCLE 1

ISSUANCES

DATE DESCRIPTION 06.12.2023 BUILDING PERMIT

07.26.2023 PERMIT CORRECTIONS CYCLE 1

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021024.00 JURISDICTION PROJECT #:

PLOT DATE:

COVER SHEET & GENERAL INFORMATION

07.26.2023

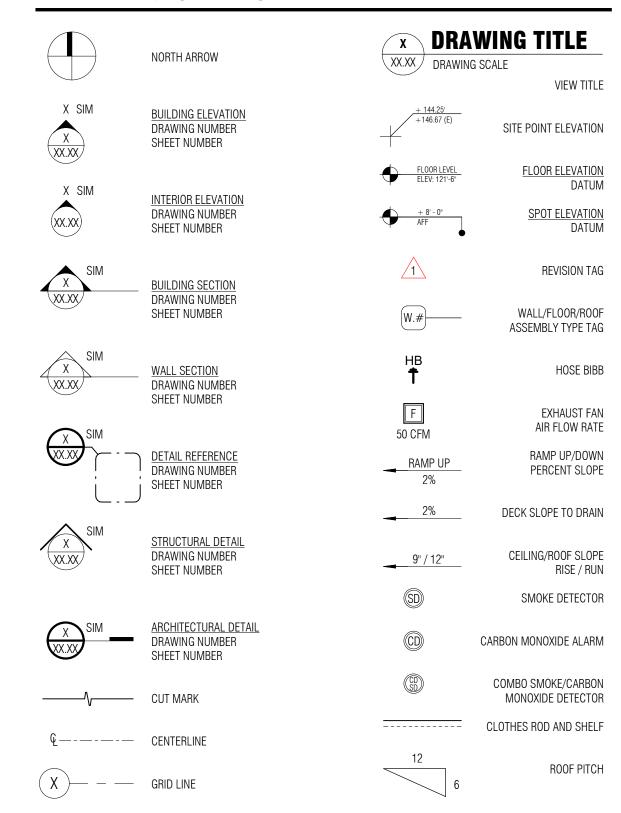
SHEET NO.:

GO.01

ARRREVIATIONS

<u>ABI</u>	BREVIATIONS		
@ AB ABV AC ADJ AFF AFG ANCH	AT ANCHOR BOLT ABOVE AIR CONDITIONING ADJUSTABLE ABOVE FINISH FLOOR ABOVE FINISH GRADE ANCHOR	LB LL LT LTG LVR LT WT LVL	LAG BOLT LIVE LOAD LIGHT LIGHTING LOUVER LIGHT WEIGHT MICROLAM LAMINATED VENEER LUMBER
ARCH AW BF	APPROXIMATE (LY) ARCHITECT (URAL) AWNING BOTTOM FLUSH	MAX MECH MED MFR MIN	Maximum Mechanical Medium Manufacturer Minimum
BLDG BM BOT BRG BTWN	BUILDING BEAM BOTTOM BEARING BETWEEN	MISC MTL MW NEC	MISCELLANEOUS METAL MICROWAVE NECESSARY
C CB CFM	CASEMENT CATCH BASIN CUBIC FEET PER MINUTE	NIC NTS O/	NOT IN CONTRACT NOT TO SCALE OVER
CJ CLG CLR CNTR COL CONC CONST CONT	CEILING JOIST CEILING CLEAR CENTER COLUMN CONCRETE CONSTRUCTION CONTINUOUS	OD OC OFCI OFOI OH OPP OV	OUTSIDE DIAMETER ON CENTER OWNER FURNISHED CONSTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED OVERHEAD OPPOSITE OVEN
CONTR COORD D DB DEMO DHW DIA DIM DL	CONTRACTOR COORDINATE DRYER DROP BEAM DEMOLITION DOMESTIC HOT WATER HEATER DIAMETER DIMENSION DEAD LOAD	PC PLAM PLYWD PSF PSI PSL PT PT PTD PWR	PIPE COLUMN PLASTIC LAMINATE PLYWOOD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARALLEL STRAND LUMBER POINT PRESSURE TREATED PAINTED POWER
DN DRY DS DW	DOWN DRYER DOWNSPOUT DISHWASHER	QTY QUANT	QUALITY QUANTITY
DWG EW EA EG ELEC EM EQ EQUIP EXH	DRAWING EACH WAY EXISTING EACH EGRESS ELECTRICAL ELECTRIC METER EQUAL EQUIPMENT EXHAUST	R RD REINF REQ'D REF REV RF RFG RM RO	RANGE ROOF DRAIN REINFORCING REQUIRED REFRIGERATOR REVISION ROOF ROOFING ROOM ROUGH OPENING
EXIST EXP EXT	EXISTING EXPANSION EXTERIOR FLOOR DRAIN	S SAF SC SCH SCHED	SINK SELF-ADHERED FLASHING SOLID CORE SCHEDULE SCHEDULE
FDN FIN FJ FL FO FURR	FOUNDATION FINISH FLOOR JOIST FLOOR FACE OF FURRING	SECT SF SG SH SIM SI	SECTION SQUARE FOOT SAFETY GLAZING SINGLE HUNG SIMILAR SLIDING WINDOW OR DOOR
FT FTG FURN GA GALV	FOOT FOOTING FURNACE GAUGE, GAGE GALVANIZED	SPEC SPF SQ SQ FT SS S&R	SPECIFICATION SPRUCE, PINE, FIR SQUARE SQUARE FOOT STAINLESS STEEL SHELF AND ROD
GC GEN GL GM GR GWB	GENERAL CONTRACTOR GENERAL GLASS GAS METER GRADE GYPSUM WALL BOARD	STD STL STRUCT SYM TBD	STANDARD STEEL STRUCTURAL SYMMETRICAL TO BE DETERMINED
HB HC HDR HDW HORIZ HR HT HVAC	HOSE BIB HOLLOW CORE HEADER HARDWARE HORIZONTAL HOUR (FIRE RESISTANT RATING) HEIGHT HEATING, VENTILATION & AC	TF T&G TEMP THK TO TOG TYP	TOP FLUSH TONGUE AND GROOVE TEMPORARY, TEMPERATURE THICK TOP OF TOGETHER TYPICAL UNLESS NOTED OTHERWISE
IG IN INCL INFO INSUL	INSULATED GLASS INCH INCLUDING INFORMATION INSULATING, INSULATION	VAR VENT VERT VG VIF	VARIES VENTILATION VERTICAL VERTICAL GRAIN VERIFY IN FIELD
INT ISG JT	INTERIOR INSULATED SAFETY GLASS JOINT	W W/ W/O	WASHER WITH WITHOUT
KD KP	KILN DRIED KING POST	WASH W/D WM WS	CLOTHES WASHER WARMING & DRYER WATER METER WIRE SHELVING
LAM LAV	LAMINATED(D) LAVATORY	WWM #	WELDED WIRE MESH NUMBER OF POUND(S)

DRAWING SYMBOL KEY



ELECTRICAL SYMBOL KEY

DOOR CHIME

Ψ	110V DUPLEX OUTLET GFI = GROUND FAULT INTERRUPTER EXT = EXTERIOR	- \$-	FLUSH / SEMI-FLUSH FIXTURE
220 P	220V OUTLET	Φ	WALL-MOUNTED FIXTURE
₩	110V 4-PLEX OUTLET	\oplus	PENDANT FIXTURE
GFI	FLOOR DUPLEX OUTLET (GFI)	igorims	RECESSED CEILING FIXTURE
0	FLOOR OUTLET (OTHER)	\Diamond	RECESSED DIRECTIONAL FIXTURE
•	WALL OUTLET (SWITCHED)	*	SITE LIGHTING FIXTURE
D Y	COM JACK T = TELEPHONE C = CABLE	8	TRACK LIGHTING FIXTURE
2	D = DATA	>	UNDERCABINET LIGHT FIXTURE
3 \$	SINGLE POLE SWITCH D = DIMMER J = JAMB M = MOTION		SURFACE MOUNT STRIP FIXTURE
	T = TIMER 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH	Y	CORNER STRIP FIXTURE
T	THERMOSTAT		OFILINO MOUNTED EAS
(\$)	CEILING / WALL SPEAKER		CEILING MOUNTED FAN W/ OPTIONAL LIGHTING KIT
<u>WH</u>	WALL HEATER	-	
DB O	DOOR BELL		ELECTRICAL WIRING
OLUME			

CONTRACT GENERAL NOTES

- 1. GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS. AS REQUIRED.
- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING
- 4. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING
- FIELD MEASUREMENTS AS NECESSARY. 5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS
- NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT. 6. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY
- 7. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF
- DRAWN IN FULL.
- 8. SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT; AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY.
- GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIWICK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER AND AIR PROOFED, DURABLE PROJECT. 10. COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK.

9. THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE

- 11. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
- 12. EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.
 - a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH.
 - b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

CONTRACT DIMENSION NOTES

- 1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
- AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
- 3. AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.
- 4. SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- 5. GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- 6. DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

FINISHES KEY

SCHEDULES KEY

NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT. NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT. X = ITEMIZED DESCRIPTOR (NUMBER ONLY)X = ITEMIZED DESCRIPTOR (LETTER OR NUMBER)

		() = REFERENCE PROJECT MANUAL DIVISION
CARPET CP-X	SPECIALTY FINISH SF-X	$ \begin{array}{c} EG SG \\ XXX \end{array} \qquad \begin{array}{c} EG = EGRESS \\ SG = TEMPERED \end{array} \qquad \text{WINDOW TAG} $
		DOOR TAG
FABRIC FB-X	SOLID SURFACE SS-X	SVG XX SALVAGE TAG (DIVISION 2)
		L-XX LIGHTING TAG (DIVISION 26)
GL-X	STONE ST-X	P-XX PLUMBING TAG (DIVISION 22)
		SPC-X SPECIALTY TAG (RESERVED)
METAL MT-X	TILE TL-X	FUR-X FURNISHINGS TAG (DIVISION 12)
		EQP-X EQUIPMENT & APPLIANCE TAG (DIVISION 11)
PLASTIC LAMINATE PL-X	WOOD WD-X	(BATH) ACCESSORY TAG (DIVISION 10)
		(DAC-X) (DECORATIVE) ACCESSORY TAG (DIVISION 10)
PAINT PT-X	WALLCOVERING WC-X	(CABINET) HARDWARE TAG (DIVISION 6)
RESILIENT FLOORING		(DOOR) HARDWARE TAG (DIVISION 8)
RF-X		(WINDOW) HARDWARE TAG (DIVISION 8)

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12685 | REGISTERED ARCHITECT STATE OF WASHINGTON

JURISDICTION STAMP AREA

RESIDENC

GRIMA

REVISION DATE DESCRIPTION

ISSUANCES DATE DESCRIPTION

06.12.2023 BUILDING PERMIT 07.26.2023 PERMIT CORRECTIONS CYCLE 1

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BOARD & VELLUM PROJECT #: 2021024.00 JURISDICTION PROJECT #:

PLOT DATE:

PROJECT STANDARDS & **CONTRACT NOTES**

07.26.2023

ENERGY CODE REQUIREMENTS

REFERENCE: 2018 WASHINGTON STATE ENERGY CODE

R401.3 COMPLIANCE CERTIFICATE: A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR SKYLIGHT U-FACTOR 0.50 CEILING R-VALUE R-49¹ VAULTED CEILING R-VALUE R-38¹ WOOD FRAMED WALL R-VALUE R-21 INT BELOW-GRADE WALL R-VALUE **10/15/21 + TB FLOOR R-VALUE R-30 SLAB ON GRADE R-VALUE & DEPTH ***R-10 , 2 FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

** "10/15/21 + TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21 + TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "TB" MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.

*** R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

1 IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

R402.4 BUILDING AIR LEAKAGE AND TESTING

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AND BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE BELOW 5 AIR CHANGES PER HOUR.

R403.1 CONTROLS EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE

 DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 INSULATION. MINIMUM DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

R404.1 LIGHTING: MINIMUM 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY

R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS - CREDIT SELECTION: N/A

VENTILATION & EXHAUST NOTES

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS M1503, & M1505 RANGE HOOD

- 1. DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SECTION M1503.3.
- 2. VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE
- 3. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER COMPLYING WITH SECTION M1503.6.2.

MECHANICAL VENTILATION - LOCAL EXHAUST

- KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1505.4.4.
- BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS PER TABLE M1505.4.4.
- 3. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION

WHOLE HOUSE VENTILATION

- 1. A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1505. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- 2. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL
- OVERRIDE PER SECTION M1505.4.2 3. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1505.4.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(2).

BUILDING CODE SUMMARY

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS

R302.6 DWELLING / GARAGE SEPARATION

- THE GARAGE SHALL BE SEPARATED AS FOLLOWS: MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR RATING).
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE.
- MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE CEILING. MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0".
- BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4". BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8".
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30" X 30" WITH 6'-8" CEILING HEIGHT AT FOR ROOMS WITH SLOPED CEILINGS. THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT. LESS THAN 5'-0" AND NOT LESS THAN 50% OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET.
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED
- EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING: A. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
- BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR C. THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR
- D. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE
- GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM

• PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING LOCATIONS: SD: IN EACH SLEEPING ROOM.

SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.

 ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS

MECHANICAL VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE M1505, TABLE M1505.4.3(1)

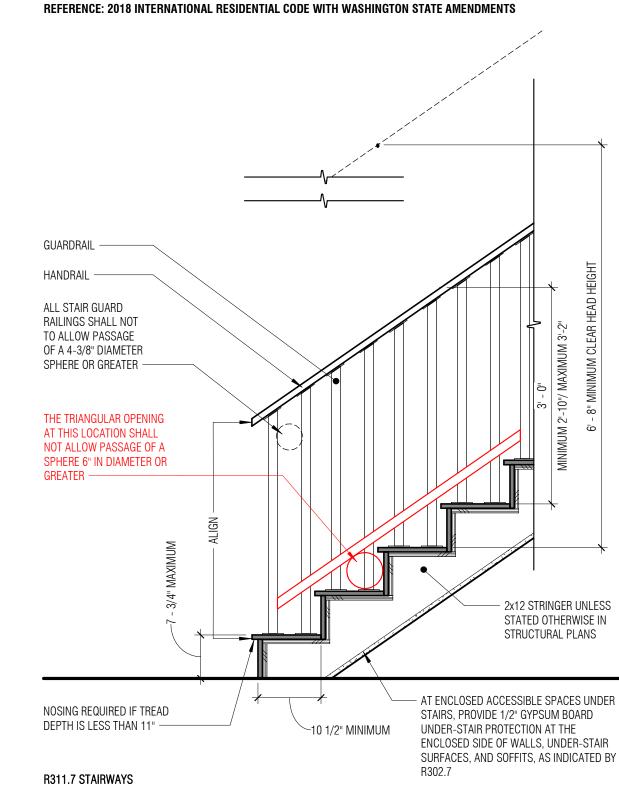
	DEALIII	DED CONTINUED DE L'ENTIL ATION D	ED TADI E 144505 4 0
	REQUI	RED CONTINUOUS VENTILATION P	ER TABLE M1505.4.3
DWELLING UNIT FLOOR AREA 1ST FLOOR 2ND FLOOR	(ALTERED) 10 SF 0 SF	<u>TOTAL SF</u> 2110 SF 2795 SF	REQUIRED AIRFLO
NUMBER OF BEDROOMS	5	4905 SF	105 CFI
INTERMITTENT VENTILATION ADJUSTMENT FACTOR	R PER M1505.4.3.1	RATE: 50% / 4HR	
TOTAL REQUIRED INTERMITTENT VENTILATION			210 CFI

INTERMITTENT VENTILATION PROVIDED BY BATHROOM FANS RUNNING @ 50% TIME INTERVAL MINIMUM.

BUILDING AREA CALCULATIONS

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR) FIRST FLOOR SECOND FLOOR	2100 SF 2795 SF	10 SF (TAKEN FROM GARAGE) 0	2110 SF 2795 SF
TOTALS	4895 SF	10 SF	4905 SF

STAIR CODE REQUIREMENTS

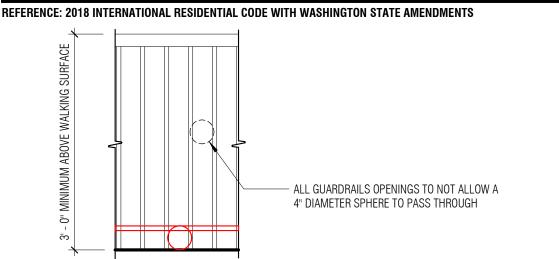


- RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1
- TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2 A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3 EXCEPTION
- TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1 FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST POINT AND A MINIMUM 6" TREAD AT
- THE NARROWEST POINT PER R311.7.5.2.1
- CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING PER R311.7.2 OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER R311.7.5.1
- A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER R311.7.3. LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.

- **HANDRAILS** HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER R311.7.8.1
- HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2.
- HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER R311.7.8.2. HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.

- GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM
- A LINE CONNECTING THE LEADING EDGES OF THE TREADS PER R312.1.2. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN
- DIAMETER. PER R312.1.3.2 THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

GUARDS CODE REQUIREMENTS



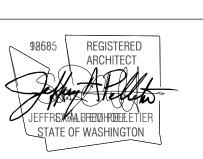
R312 GUARDS

- GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING
- SURFACE OR GRADE PER R312.1.2 GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE WALKING SURFACE PER R312.1.2
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES PER R312.1.3
- GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS PER R301.5.

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS

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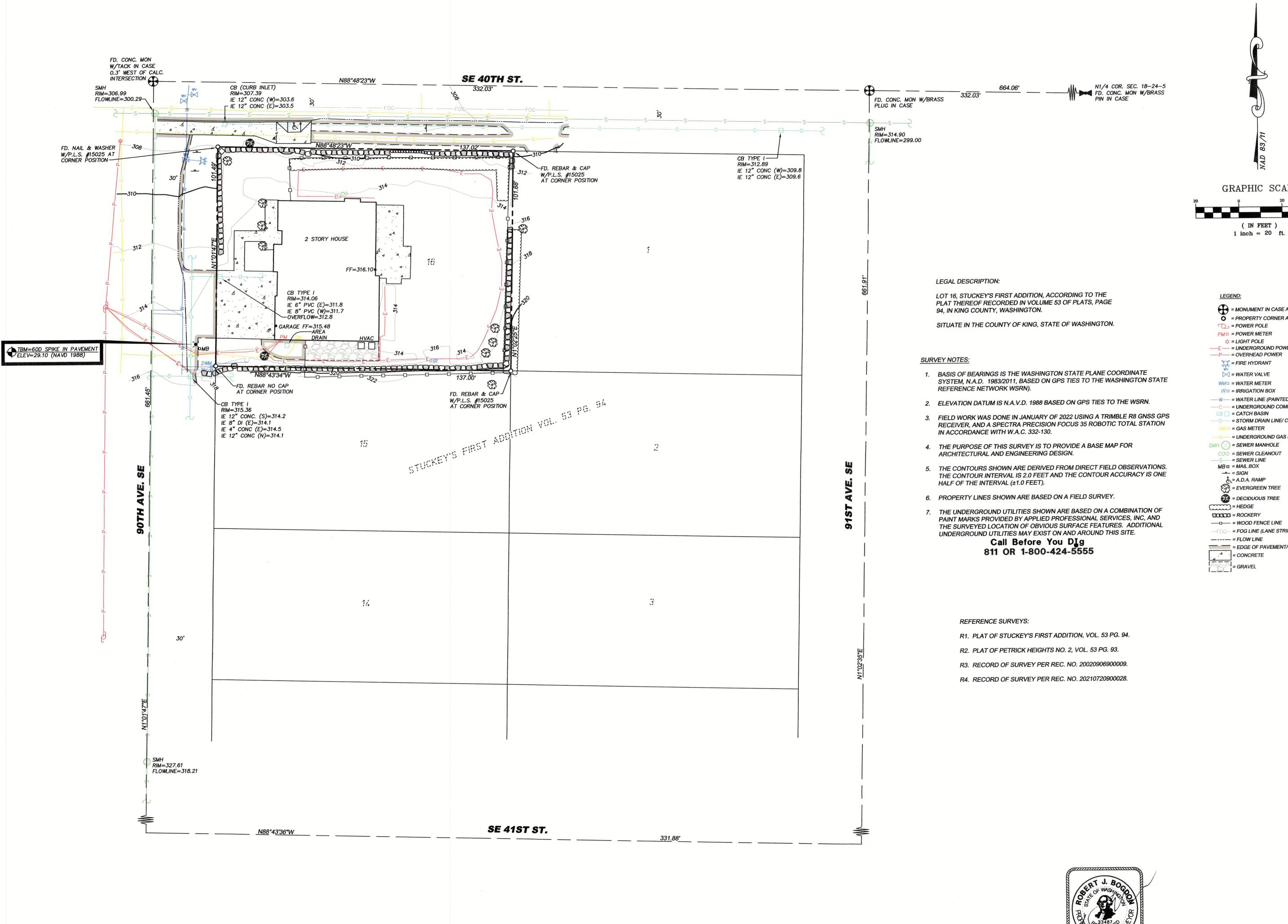
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BOARD & VELLUM PROJECT #: 2021024.00 JURISDICTION PROJECT #:

PLOT DATE: 07.26.2023

BUILDING / ENERGY CODE SUMMARY





GRAPHIC SCALE

(IN FEET)

= MONUMENT IN CASE AS DESCRIBED O = PROPERTY CORNER AS DESCRIBED

> PM = POWER METER —E— = UNDERGROUND POWER (PAINTED LOCATION)

XX = FIRE HYDRANT = WATER VALVE

WM = WATER METER IR□ = IRRIGATION BOX

CB = CATCH BASIN

GM □ = GAS METER - = UNDERGROUND GAS LINE (PAINTED LOCATION) SMH = SEWER MANHOLE

COO = SEWER CLEANOUT -S- = SEWER LINE $MB \square = MAIL\ BOX$ --- = SIGN

رد = A.D.A. RAMP हिंदे = EVERGREEN TREE = DECIDUOUS TREE

---- = WOOD FENCE LINE -FOG- = FOG LINE (LANE STRIPE)

= HEDGE DDCCD = ROCKERY

----- = FLOW LINE

= EDGE OF PAVEMENT/CURB LINE

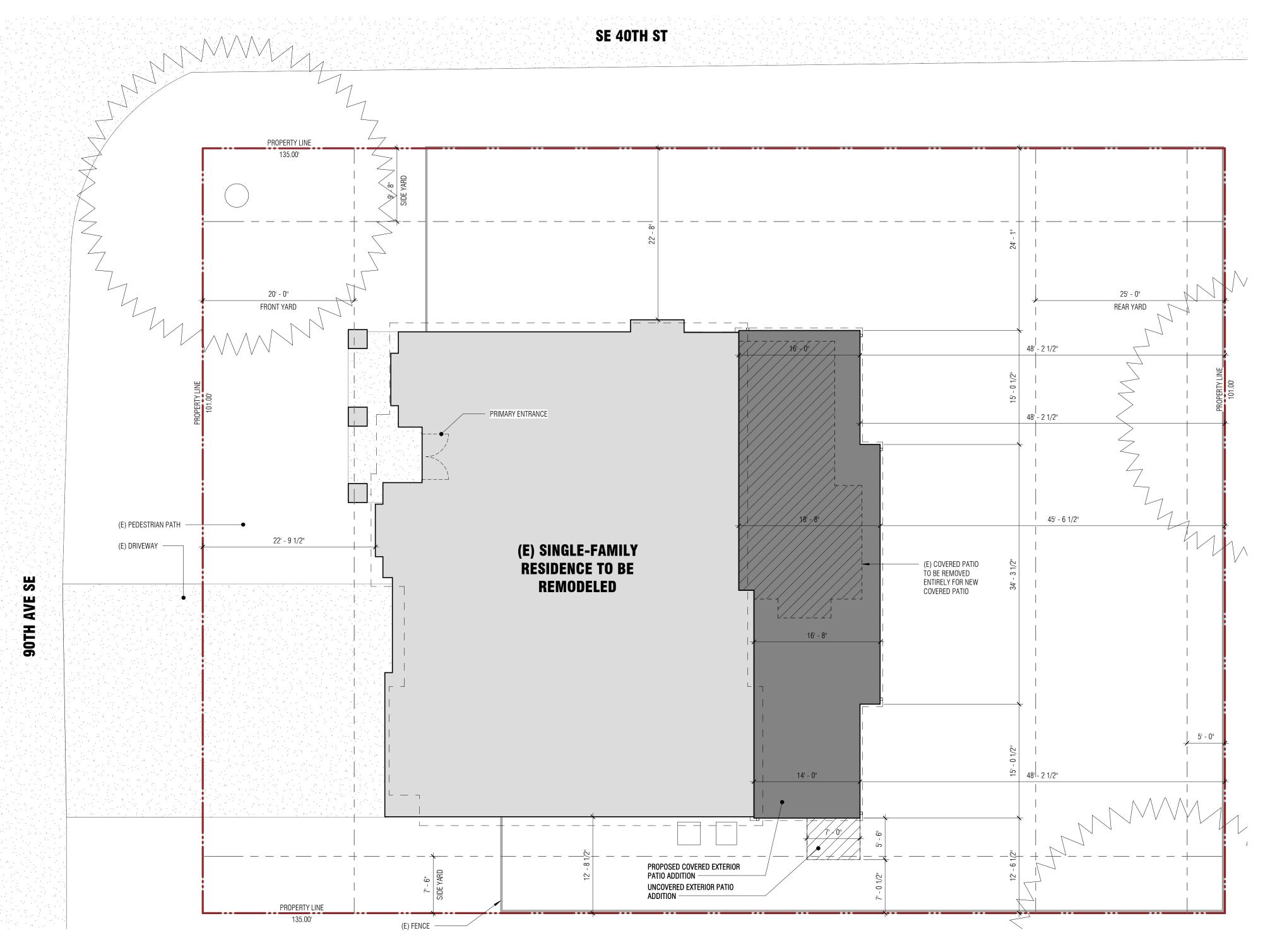
= CONCRETE

= GRAVEL

JOB NO. 22011

INDEX LOCATION SEC. 18, T.24N., R.5E., SHEET 1 OF 1

DATE JAN. 2022 SCALE 1"=20" DESIGNED S.K. DRAWN S.K. CHECKED R.B. APPROVED.

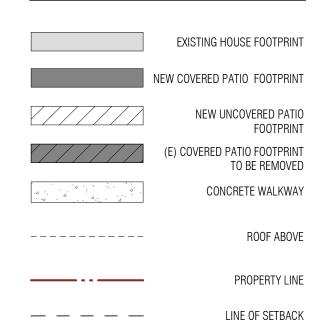


ARCHITECTURAL SITE PLAN - PROPOSED 1/8" = 1'-0"

PROJECT INFORMATION

4008 90TH AVE SE MERCER ISLAND, WA 98040 PROJECT ADDRESS: 806230-0080 ASSESSOR PARCEL NO: LOT 16, STUCKEY'S FIRST ADDITION, ACCORDING TO THE PLAT THEROF LEGAL DESCRIPTION: RECOREDED IN VOLUME 53 OF PLATS, PAGE 94, IN KING COUNTY, WASHINGTON. INTERIOR REMODEL, COVERED PATIO ADDITION, AND REAR SITE WORK PROJECT DESCRIPTION: EQUIPPED WITH A NFPA 13D FIRE SPRINKLER SYSTEM (PERMIT 1606-208). VERIFY THAT THE SYSTEM IS OPERATIONAL AND HAS BEEN ANNUALLY TESTED. FIRE SAFETY:

SITE PLAN KEY



PER MICC 19.02	
ZONE:	R-9.6
LOT SIZE:	13,917 SF
FRONT SETBACK: Min. Req'd: Proposed:	20'-0" 22'-9 1/2" (NO CHANGE, THEREFORE OKAY)
NORTH SIDE SETBACK: Min. Req'd: Proposed:	9'-8" 22'-8" (NO CHANGE, THEREFORE OKAY)
SOUTH SIDE SETBACK: Min. Req'd: Proposed:	7'-6" 12'-6 1/2"
REAR SETBACK: Min. Req'd: Proposed:	25'-0" 46'-6 1/2"
HEIGHT LIMIT: Allowed:	30'-0" TO HIGHEST POINT ABOVE AVERAGE GRADE ELEVATION
PROPOSED:	30'-0" EXISTING, NO CHANGE
LOT COVERAGE: Allowed:	SEE SHEET A1.12 FOR LOT COVERAGE CALUCATIONS
GROSS FLOOR AREA: Allowed: Main Level: Upper Level: Total (E): Proposed:	40% OF LOT NET AREA < 8,000 SF (WHICHEVER IS LESS) = 5,566.8 SF 3,010 GSF (EXISTING) 2,818 GSF (EXISTING) 5,828 GSF (EXISTING) 5,828 GSF (NO CHANGE, THEREFORE OKAY)
PARKING: Required: Proposed:	1 1 (EXISTING, NO CHANGE)
CURB CUT CALCULATIONS: Allowed:	(1) CURB CUT NO GREATER THAN 20 FEET, AS SUBSTITUTED FOR (2) 10-F00T CURB CUTS ALLOWED FOR A STREET FRONTAGE BETWEEN 80 AND 160 FEET ON NON-ARTERIAL STREET. (SMC 23.54.030)

1 (EXISTING, NO CHANGE)

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GRIMA RESIDENCE

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JURISDICTION STAMP AREA

DESCRIPTION

07.26.2023 PERMIT CORRECTIONS CYCLE 1

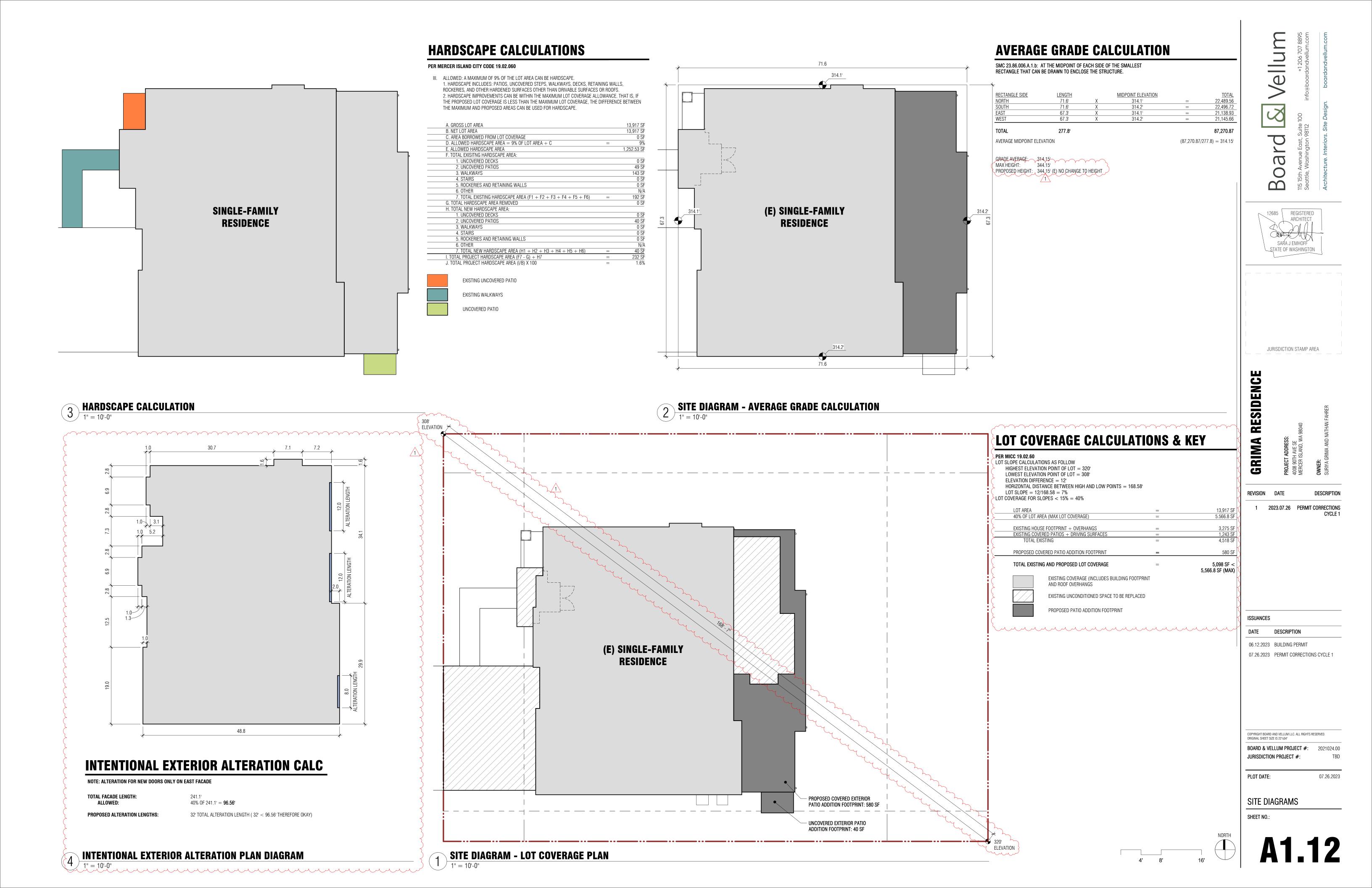
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PLOT DATE:

SITE PLAN

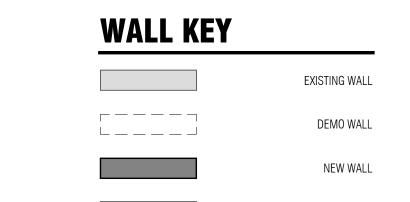
SHEET NO.:





1 FIRST FLOOR - DEMOLITION PLAN

1/4" = 1'-0"



NEW CONC WALL

ROOF CUT

DEMOLITION NOTES

- CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
- SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
- 3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS. 4. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

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12685 REGISTERED STATE OF WASHINGTON

JURISDICTION STAMP AREA

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FIRST FLOOR - DEMOLITION PLAN



SECOND FLOOR - DEMOLITION PLAN1/4" = 1'-0"

WALL KEY

WINDOW / DOOR KEY

(E) EXISTING DOOR OR WINDOW TO REMAIN EXISTING WALL (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE DEMO WALL

NEW WALL

NEW CONC WALL ROOF CUT

DEMOLITION NOTES

- . CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
- SEE SITE DEMOLITION PLAN FOR EXTERIOR HARDSCAPE AND STRUCTURE DEMOLITION AND NOTES.
- 3. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS. 4. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.

12685 REGISTERED STATE OF WASHINGTON

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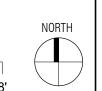
07.26.2023

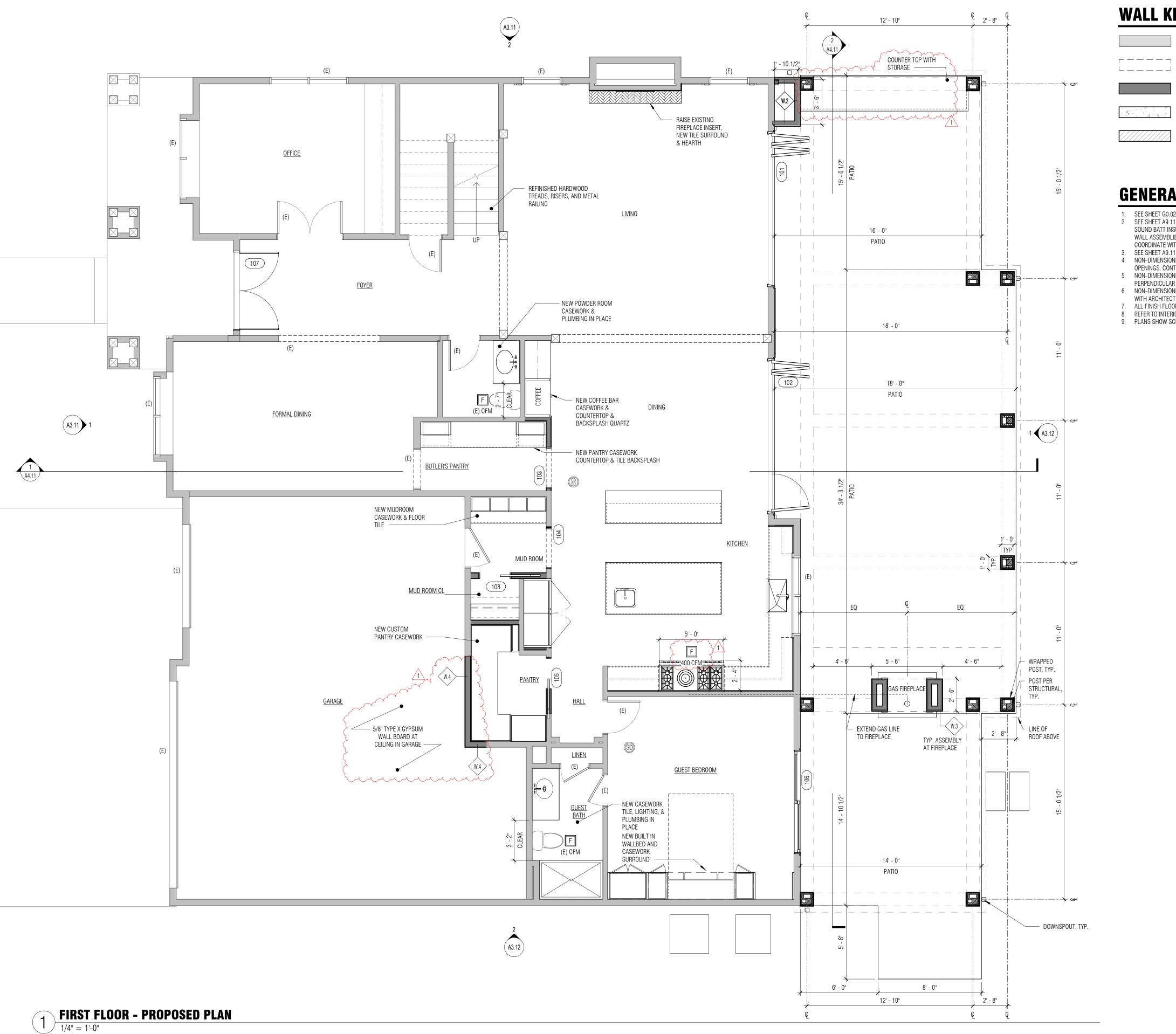
SECOND FLOOR -

DEMOLITION PLAN

SHEET NO.:

PLOT DATE:





WALL KEY

WINDOW / DOOR KEY

(E) EXISTING DOOR OR WINDOW TO REMAIN EXISTING WALL (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE DEMO WALL

NEW WALL NEW CONC WALL

GENERAL PLAN NOTES

- 1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES. 2. SEE SHEET A9.11 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL;
- COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS. 3. SEE SHEET A9.11 FOR DOOR AND WINDOW SCHEDULES.
- 4. NON-DIMENSIONED WINDOWS AND WINDOWS DESIGNATED WITH 'R' DENOTE REPLACEMENTS PER EXISTING ROUGH OPENINGS. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.

ROOF CUT

- 6. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE
- ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL CASEWORK DETAIL 9. PLANS SHOW SCHEMATIC DESIGN DIRECTION FOR INITIAL BUDGET. ADDITIONAL DEVELOPMENT TO FOLLOW.

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12685 REGISTERED STATE OF WASHINGTON

JURISDICTION STAMP AREA

RESIDENCE

GRIMA

REVISION DATE DESCRIPTION

1 2023.07.26 PERMIT CORRECTIONS CYCLE 1

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DATE DESCRIPTION

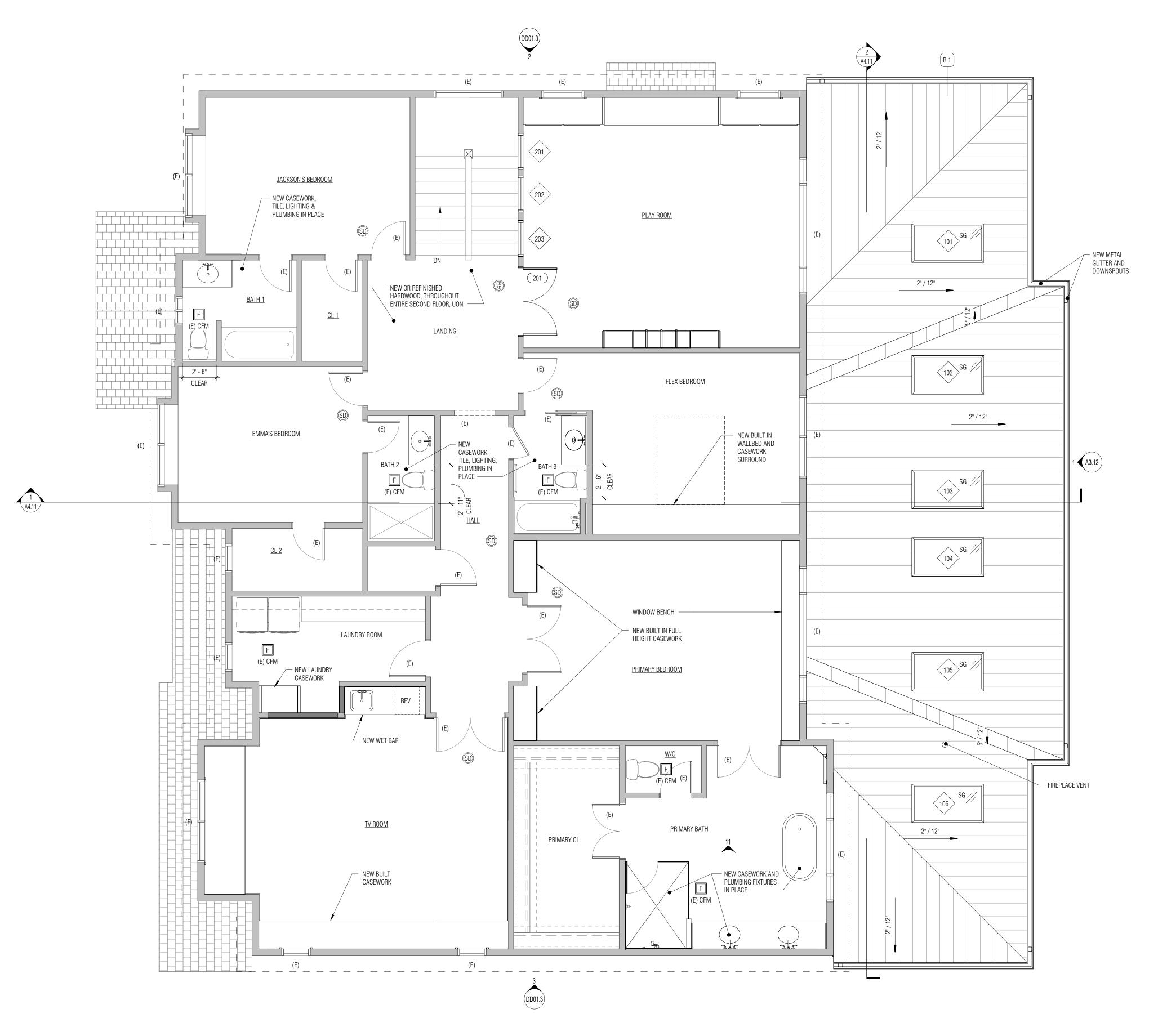
06.12.2023 BUILDING PERMIT 07.26.2023 PERMIT CORRECTIONS CYCLE 1

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PLOT DATE:

FIRST FLOOR - PROPOSED

07.26.2023



SECOND FLOOR - PROPOSED PLAN1/4" = 1'-0"

WALL KEY

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WINDOW / DOOR KEY

EXISTING WALL

(E) EXISTING DOOR OR WINDOW TO REMAIN
(D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
(S) EXISTING DOOR OR WINDOW TO BE SALVAGED
(R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

NEW WALL

NEW CONC WALL

ROOF CUT

GENERAL PLAN NOTES

- 1. SEE SHEET GO.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- 2. SEE SHEET A9.11 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- 3. SEE SHEET A9.11 FOR DOOR AND WINDOW SCHEDULES.
- 4. NON-DIMENSIONED WINDOWS AND WINDOWS DESIGNATED WITH 'R' DENOTE REPLACEMENTS PER EXISTING ROUGH OPENINGS. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- 5. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.

9. PLANS SHOW SCHEMATIC DESIGN DIRECTION FOR INITIAL BUDGET. ADDITIONAL DEVELOPMENT TO FOLLOW.

- 6. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.
- ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH UNLESS NOTED OTHERWISE.
 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL CASEWORK DETAIL

ROUGH
MENTS.

12685 REGISTERED
ARCHITECT

DRDINATE

SARA J EMHOFF
STATE OF WASHINGTON

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JURISDICTION STAMP AREA

RESIDENCE

38 90TH AVE SE
RCER ISLAND, WA 98040
NER:

GRIMA

DESCRIPTION

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BOARD & VELLUM PROJECT #: 2021024.00

JURISDICTION PROJECT #: TBD

PLOT DATE:

SECOND FLOOR -PROPOSED PLAN

SHEET NO.:

NORTH

A2.23



WEST ELEVATION FOR REFERENCE - NO WORK

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

d & Vellum
st, Suite 100 hogoboardandvellum.com

12685 REGISTERED ARCHITECT

SARA J EMHOFF
STATE OF WASHINGTON

JURISDICTION STAMP AREA

GRIMA RESIDENCE

PROJECT ADDRESS:
4008 90TH AVE SE
MERCER ISLAND, WA 98040
OWNER:

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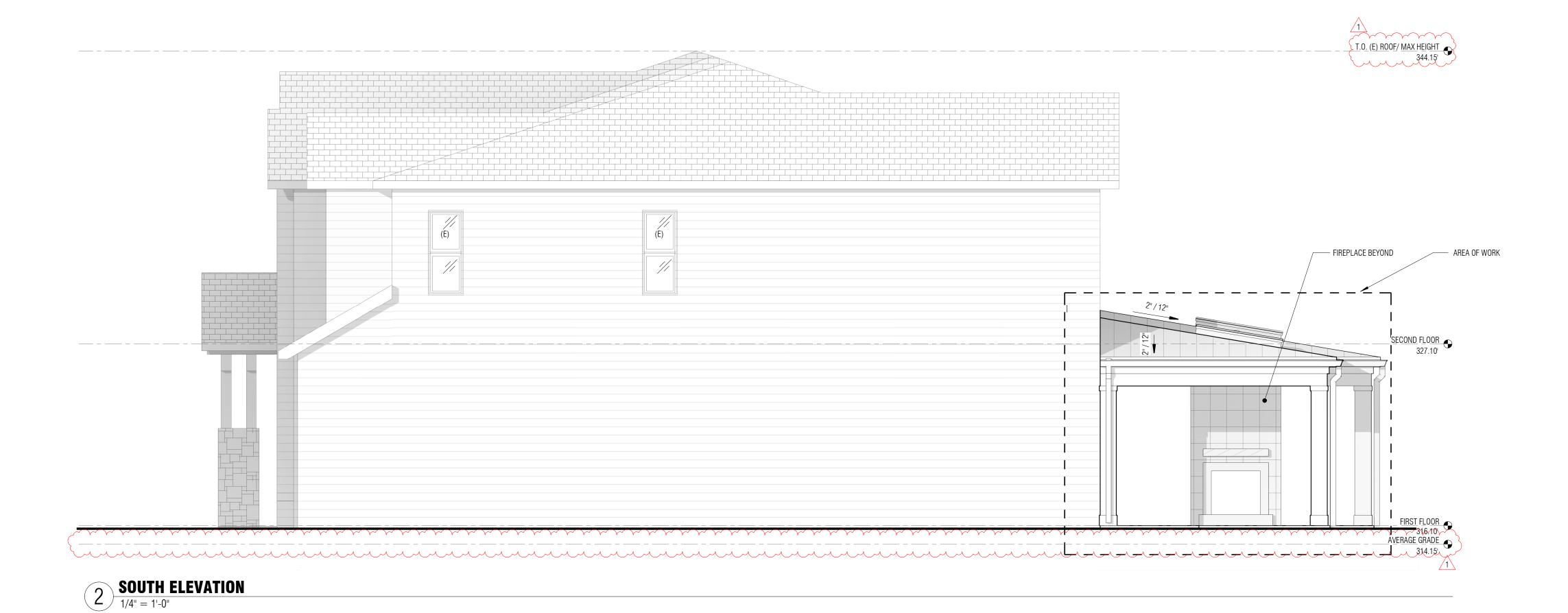
PLOT DATE:

PROPOSED EXTERIOR ELEVATIONS

SHEET NO.:

A3.11

1 **EAST ELEVATION**1/4" = 1'-0"



Board () Hellum 115 15th Avenue East, Suite 100 () 115 15th Aven

12685 REGISTERED
ARCHITECT

SARA J EMHOFF
STATE OF WASHINGTON

JURISDICTION STAMP AREA

GRIMA RESIDENCE
PROJECT ADDRESS:
4008 90TH AVE SE
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3 90TH AVE SE ICER ISLAND, WA 98040 VER:

REVISION DATE D

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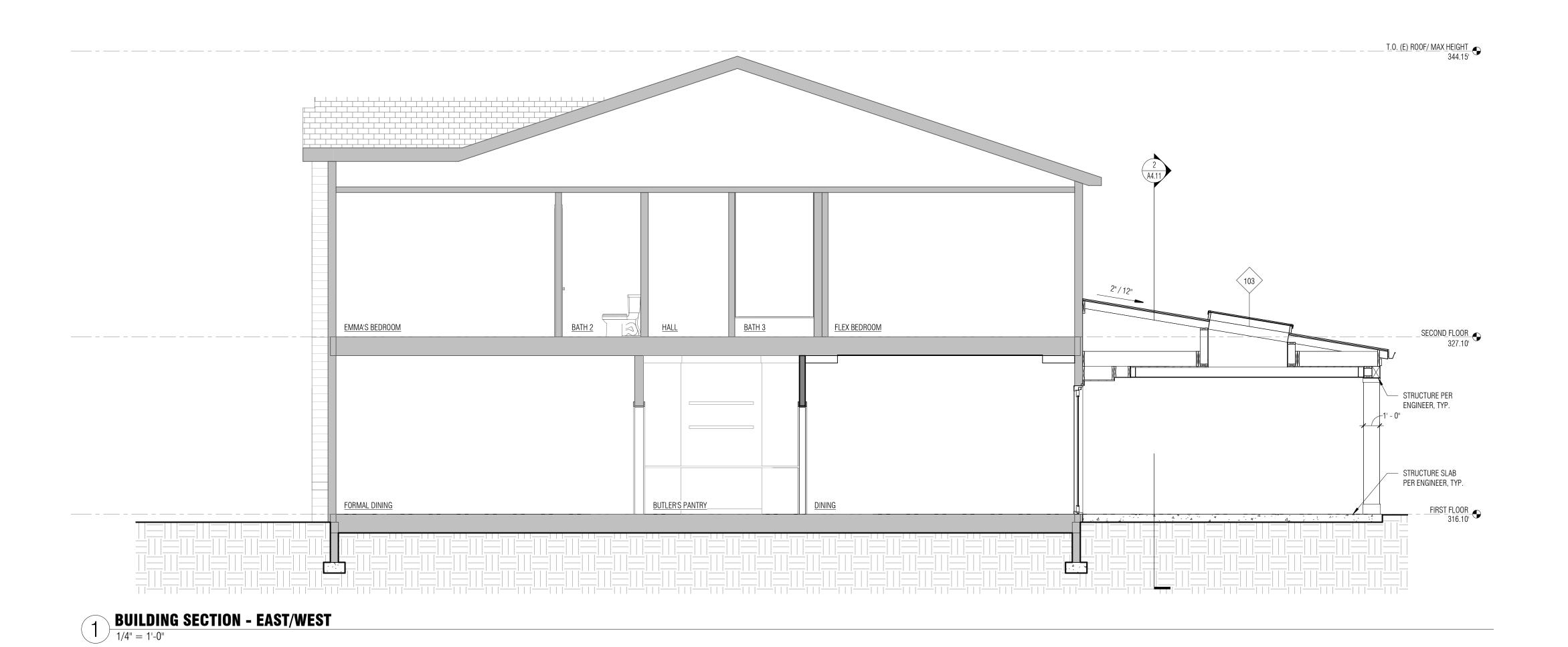
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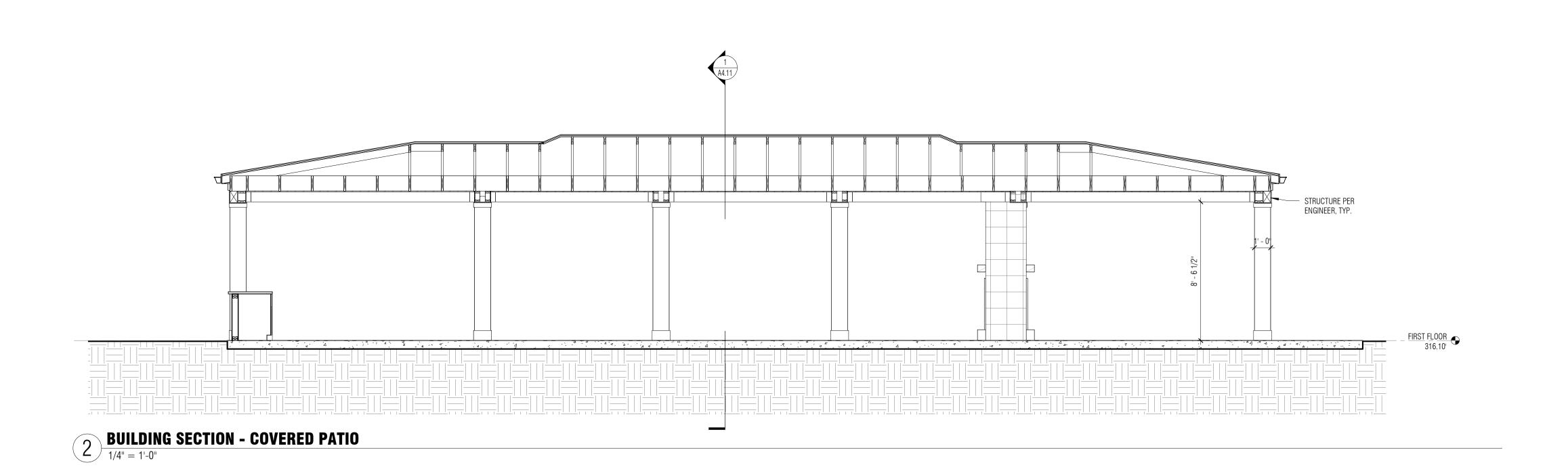
PLOT DATE:

PROPOSED EXTERIOR ELEVATIONS

SHEET NO.:

A3.12





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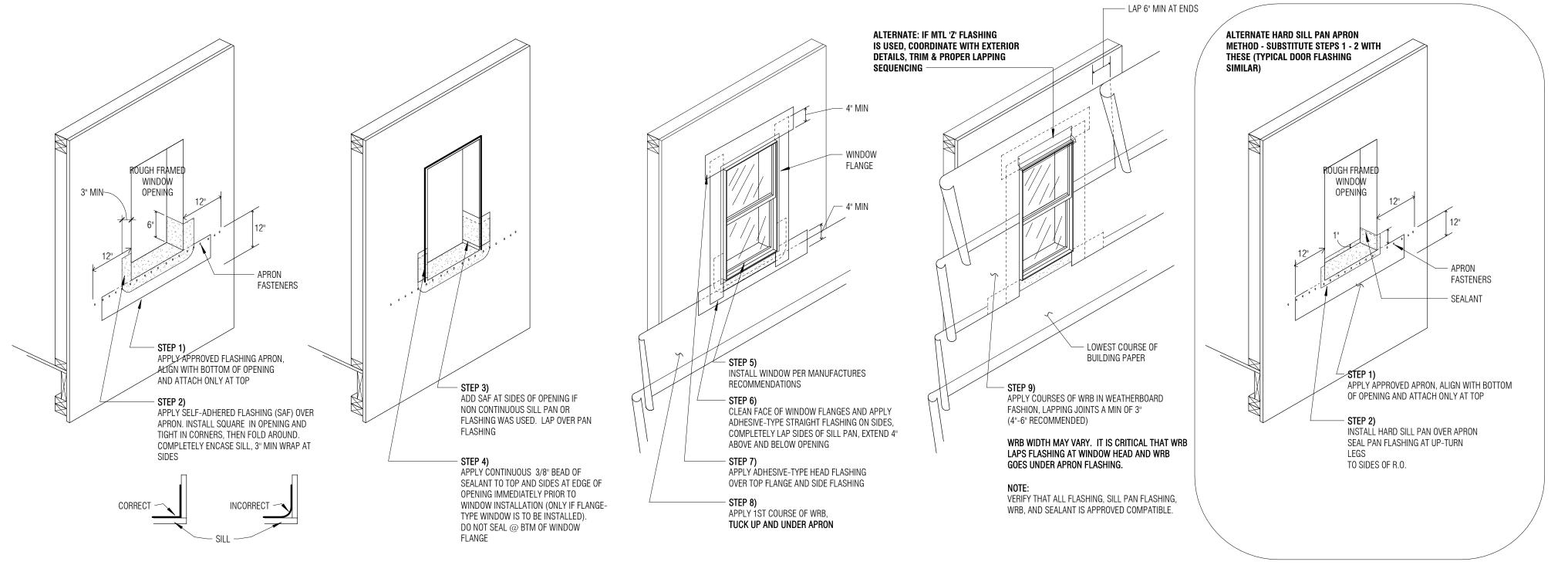
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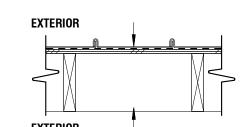
PROPOSED BUILDING SECTIONS

07.26.2023



A9.21 - WINDOW FLASHING DETAIL (SIM @ DOOR FLASHING)





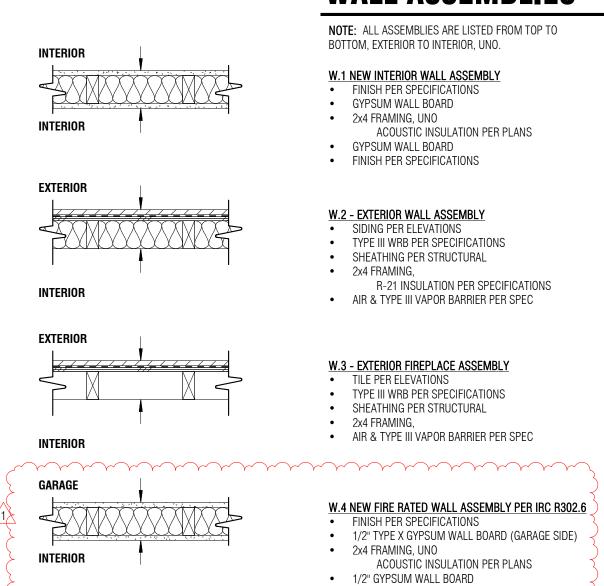
NOTE: ALL ASSEMBLIES ARE LISTED FROM EXTERIOR TO INTERIOR, TOP TO BOTTOM, UNO.

R.1 UNVENTED SLOPED ROOF EAVE ASSEMBLY

- SS MTL ROOF
- ICE & WATER SHIELD
- SHEATHING FRAMING PER STRUCTURAL

FINISH PER SPECIFICATIONS

WALL ASSEMBLIES



			Ţ	WINDOW SCHEDULE					
MARK	LOCATION	HEIGHT	WIDTH	HEAD HEIGHT	OPERATION	U FACTOR	SAFETY GLAZING	EGRESS	NOTES
FIRST FL	_00R	•	·	·	•	•			·
101	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•	SKYLIGHT
102	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•	SKYLIGHT
103	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•	SKYLIGHT
104	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•	SKYLIGHT
105	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•	SKYLIGHT
106	PATIO ROOF	3' - 0"	5' - 0"		FIXED	0.30		•	SKYLIGHT
SECONE	FLOOR	•				•			•
201	PLAY ROOM	1' - 5"	2' - 8"	8' - 3"	FIXED	0.0000			INTERIOR
202	PLAY ROOM	1' - 5"	2' - 8"	8' - 3"	FIXED	0.0000			INTERIOR
203	PLAY ROOM	1' - 5"	2' - 8"	8' - 3"	FIXED	0.0000			INTERIOR

- WINDOW HEAD HEIGHTS MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF GYPCRETE TOPPING SLAB.
- WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING
- 3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
- 4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
- 5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
- 6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE
- CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.

8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

		DOOR SCHEDULE					
			00R IZE	-			
MARK	LOCATION	WIDTH	HEIGHT	OPERATION	EXTERIOR	U FACTOR	NOTES
FIRST F	LOOR		1	1	1		
101	LIVING	12' - 0"	8' - 0"	BI-FOLD	•	0.30	
102	DINING	12' - 0"	8' - 0"	BI-FOLD	•	0.30	
103	BUTLERS PANTRY	3' - 0"	6' - 8"	CASED OPENING			MATCH EXISTING
104	MUD ROOM	3' - 0"	6' - 8"	CASED OPENING			MATCH EXISTING
105	PANTRY	2' - 4"	6' - 8"	POCKET			MATCH EXISTING
106	GUEST BEDROOM	8' - 0"	8' - 0"	SLIDER	•	0.30	
107	FRONT ENTRY DOOR	6' - 0"	8' - 0"	SWING (DOUBLE)	•	0.30	
108	MUDROOM	2' - 4"	6' - 8"	POCKET			MATCH EXISTING
SECON	D FLOOR		•				
201	PLAY ROOM	5' - 0"	8' - 0"	SWING			FULL LITE

DOOR NOTES

- 1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE EXCEPT IN THE CASE OF UNIT DOORS, WHERE IT INDICATES FRAME
- OPENING SIZE. UNIT DOORS ARE NOTED IN SCHEDULE. VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
- 3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
- 4. IN REMODELS, EXTERIOR DOOR SIZES INDICATED MAY BE APPROXIMATE. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES
- AND ROUGH OPENING SIZES FOR ALL DOORS. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
- 6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
- 7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
- 8. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED. 9. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

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STATE OF WASHINGTON

JURISDICTION STAMP AREA

RESIDENCE

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WINDOW / DOOR SCHEDULES + **ASSEMBLIES**

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- 2. DESIGN LOADING CRITERIA:

RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS FLOOR LIVE LOAD
ROOF LIVE LOAD
DEFLECTION CRITERIA LIVE LOAD DEFLECTION

ENVIRONMENTAL LOADS

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

GEOTECHNICAL

9. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE IS ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

RENOVATION

- 10. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 11. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

12. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- 13. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500 PSI
- 14. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 15. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.
- 16. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

17. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

18. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

ANCHORAGE

- 19. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4057. MINIMUM BASE MATERIAL TEMPERATURE IS 40 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 20. CONCRETE SCREW ANCHORS INTO CONCRETE SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS.

WOOD

21. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS (2X & 3X MEMBERS)

STUDS, PLATES & MISC. FRAMING:

HEM-FIR NO. 2

DOUGLAS FIR-LARCH NO. 2

OR HEM-FIR NO. 2

AND BEAMS		MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI

22. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.

23. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS) Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI LVL (2.0E-2600FB WS) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI LSL (1.55E) Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- 24. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
- ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.
- FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.
- WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 25. ALL WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE—TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE.
- 26. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- 27. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR
		CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

- 28. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

29. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

S17F	LENGTH	DIAMETER
5122		
8d	2-1/2"	0. 131"
10d	3"	0. 148"
16d B0X	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

30. NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED

31. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6"ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

D. WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION, CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8& OF VERTICAL MOVEMENT PER FLOOR LEVEL

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General Structural Notes

SCALE:

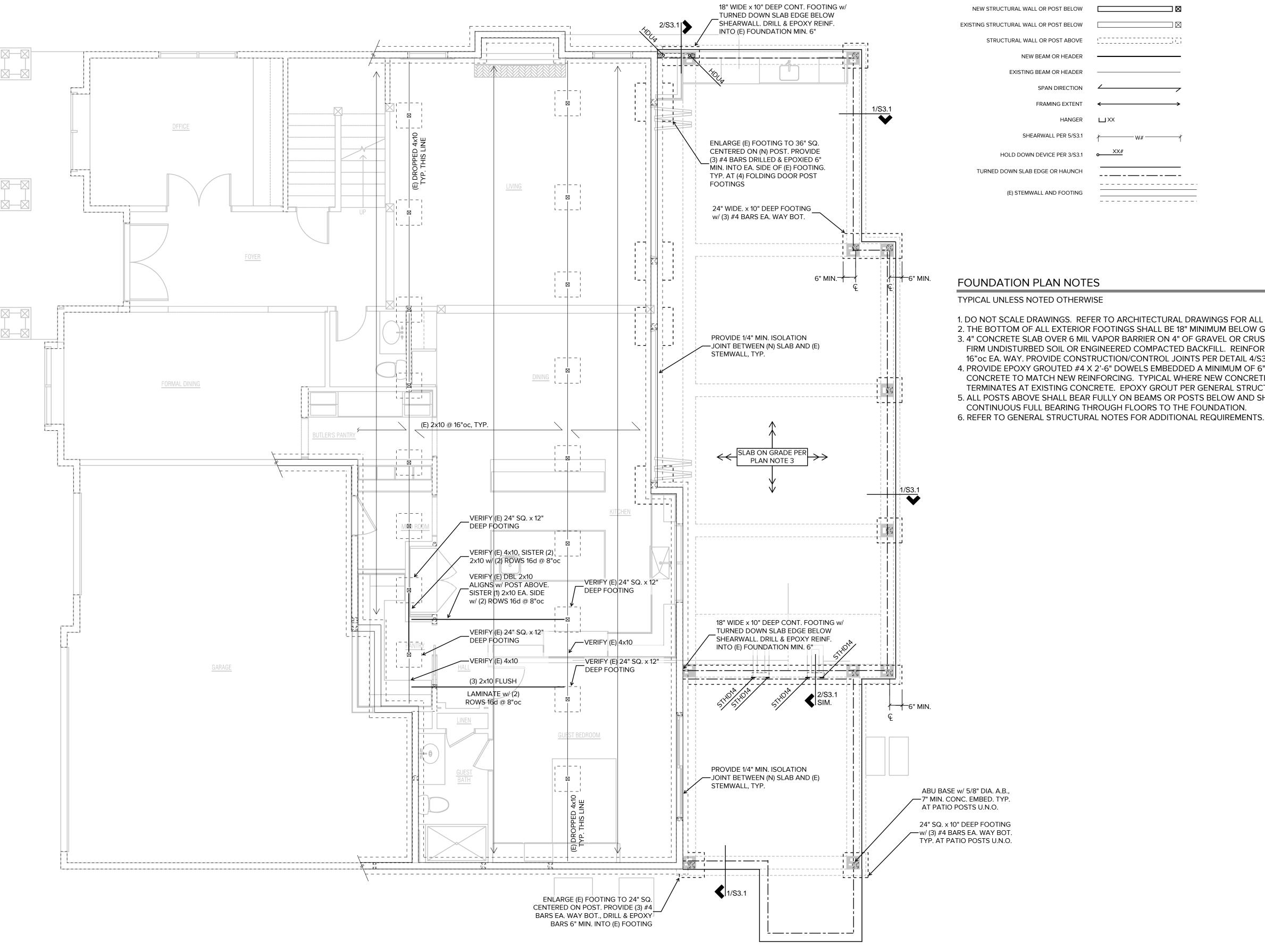
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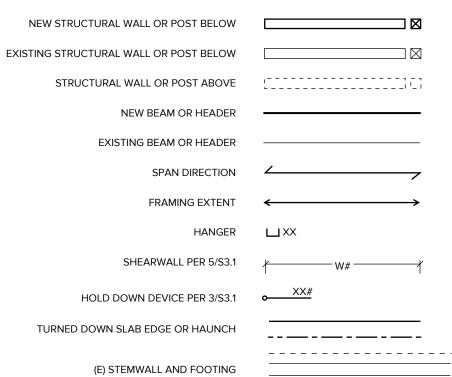
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10539-2023-03

S1.1



LEGEND



FOUNDATION PLAN NOTES

TYPICAL UNLESS NOTED OTHERWISE

FIRST FLOOR FRAMING & FOUNDATION PLAN

SCALE: 1/4" = 1'=0"

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. 2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- 3. 4" CONCRETE SLAB OVER 6 MIL VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER
- FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL. REINFORCE WITH #3 BARS @ 16"oc EA. WAY. PROVIDE CONSTRUCTION/CONTROL JOINTS PER DETAIL 4/S3.1.

_____.

- 4. PROVIDE EPOXY GROUTED #4 X 2'-6" DOWELS EMBEDDED A MINIMUM OF 6" INTO EXISTING CONCRETE TO MATCH NEW REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING
- TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES. 5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE
- CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.

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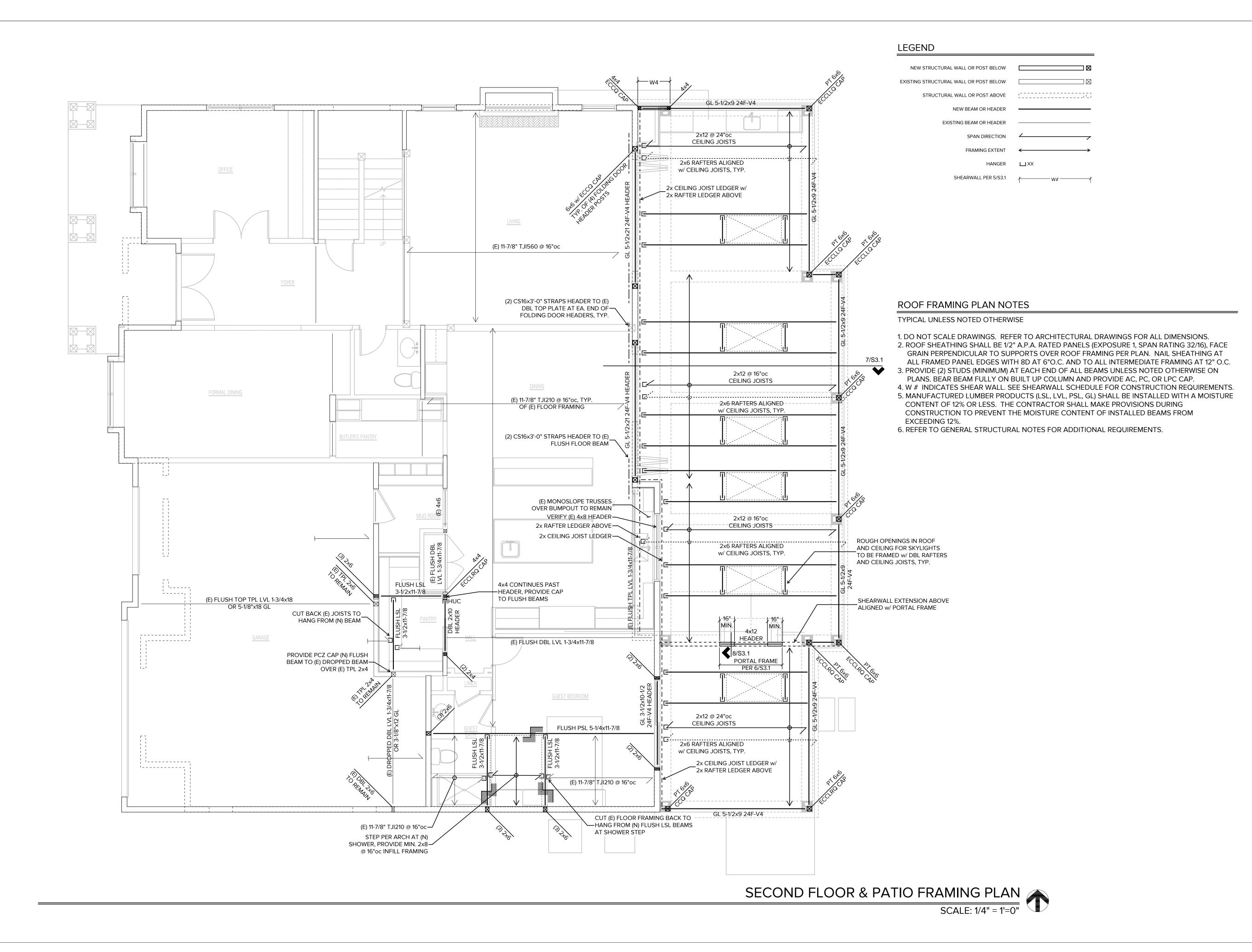
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First Floor Framing & Foundation Plan

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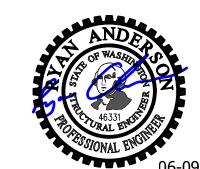


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Second Floor Framing Plan

SCALE:

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DATE:

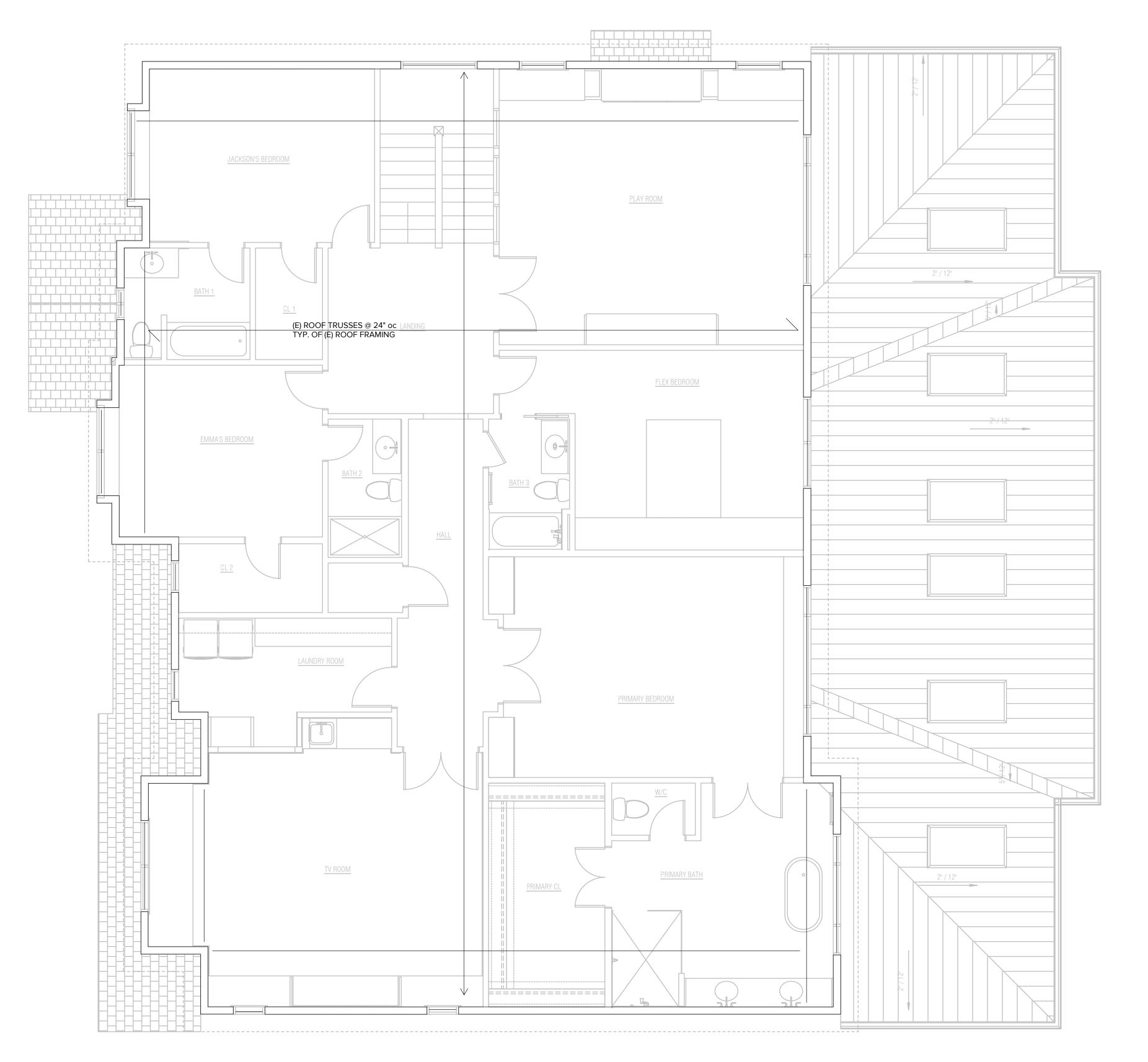
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S2.2



LEGEND

		NEW STRUCTURAL WALL OR POST BELOW
		EXISTING STRUCTURAL WALL OR POST BELOW
		STRUCTURAL WALL OR POST ABOVE
		NEW BEAM OR HEADER
		EXISTING BEAM OR HEADER
		SPAN DIRECTION
	←	FRAMING EXTENT
	ШXX	HANGER
/ #	∤ v	SHEARWALL PER 5/S3.1

ROOF FRAMING PLAN NOTES

1. NO PROPOSED WORK AT THIS LEVEL

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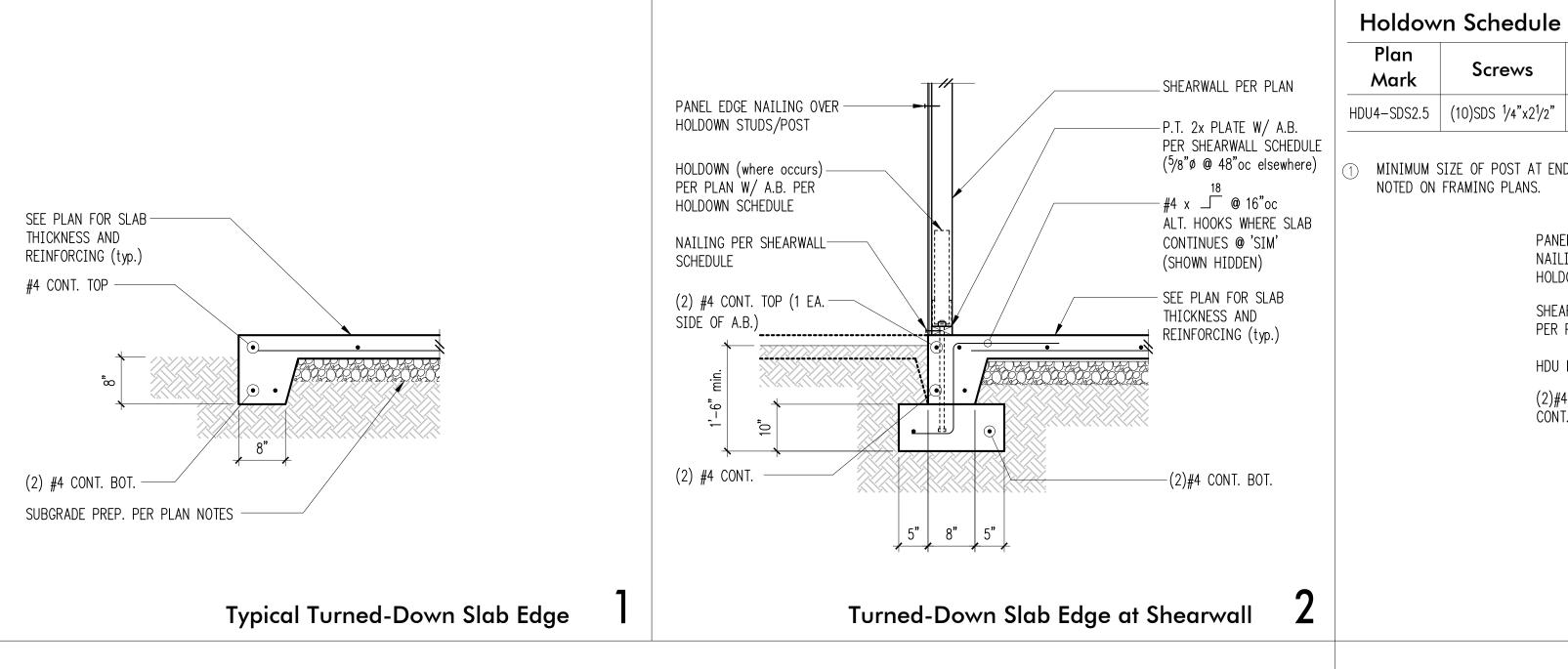
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Roof Framing Plan

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DATE:	June 9, 2023
PROJECT NO:	10539-2023-03
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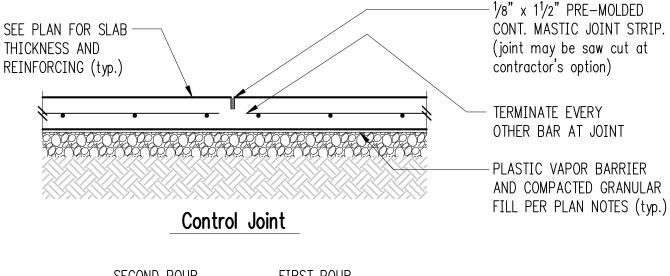


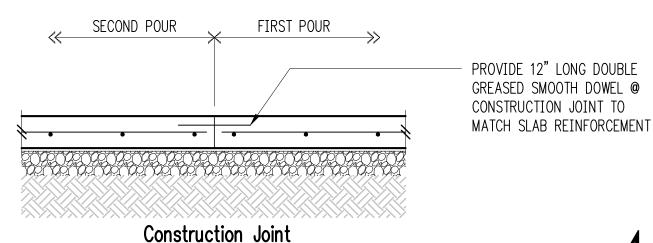
Anchor | Min. A.B. Embed (D) Holdown Post (Screws Bolt into Footing Mark if 2x4 | if 2x6 $+DU4-SDS2.5 \mid (10)SDS \frac{1}{4}x2\frac{1}{2}$ ⁵/8"ø MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS. PANEL EDGE-NAILING OVER HOLDOWN POST -HOLDOWN POST PER SCHEDULE SHEARWALL--HEADED BOLT OR PER PLAN ALL-THREAD W/ WASHER & NUT HDU HOLDOWN PER SCHEDULE (2)#4 TOP

Typical HDU Holdown & Schedule 3

#4 EA. SIDE OF A.B.

PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 250 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.





Typical Slab Joints

Portal Frame

STRUCTURAL

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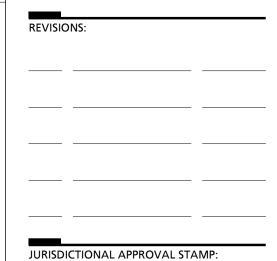
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Typical Details

10539-2023-03 NO:

Shearwall Schedule 123567

Mark	Sheathing	Panel Edge Nailing	Top Plate 8 Connection	Base Plate Connection
W6	15/32" CDX PLYWOOD	8d @ 6"oc	A35 @ 24"oc	⁵ /8"ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	A35 @ 16"oc	⁵ /8"ø A.B. @ 32"oc

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"o.c.
- ② 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box)
- ③ EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL B.
- 4 NOT USED

-16d NAILING

→ 2x NAILER

Detail A

Т///

Detail B

PER SCHEDULE

SAWN OR MFR.

LUMBER. 2x MIN. SEE NOTES FOR ADDITIONAL

REQUIREMENTS

16d NAILING

PER SCHEDULE

1/2" MAX. TO

EDGE OF

- ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- 6 ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- ③ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.

-SEE 8/S3.1 FOR FRAMING FASTEN SHEATHING TO HDR. w/ 8d IN 3" GRID AS SHOWN CONTINUOUS 4x12 HDR PER PLAN LSTA24 OPPOSITE FOR PANEL SPLICE, EDGES SHALL OCCUR SHEATHING OVER AND BE NAILED TO COMMON BLOCKING -(2)ROWS 16d @ 3"oc AND OCCUR WITHIN MIDDLE 24" OF WALL HEIGHT. ONE ROW NAILING @ 3"oc IS REQ'D. - ¹/2" CDX IN EACH PANEL EDGE. -(2)ROWS 8d @ 3"oc DOUBLE END STUDS STHD14 PER PLAN $\frac{5}{8}$ % A.B. W/ $\frac{3}{3}$ x $\frac{3}{4}$ SLAB HAUNCH & FOOTING PLATE WASHER PER PLAN W/(2)ROWS 16d @ $4^{1}/2$ "oc

Typical Patio Roof

Shearwall Schedule

- 8d @ 6"oc SLOPED LRUZ SERIES HANGER-SHEATHING PER PLAN-- 2x LEDGER TO MATCH RAFTER DEPTH w/ (2) ROWS SDS $^{1}/4\times4^{1}/2$ SCREWS @ EA. (E) STUD (16"oc) -2x6 STUDS @ 6'-0"oc MAX. w/ MIN. (4) RAFTERS PER PLAN ALIGNED w/ EA. CEILING JOIST SDWS16300 SCREWS TO EA. RAFTER AND SOFFIT FRAMING PER ARCH SISTERED TO EA.-CEILING JOIST, TYP. JOIST/RAFTER PAIR w/ 8d @ 6"oc TO EA. - (E) FLOOR SYSTEM -(E) RIM 8d @ 6"oc - A35 PLATE @ 16"oc FULL DEPTH 2x BLOCKING, NOTCH-AROUND SOFFIT FRAMING A35 PLATE @ 16"oc-MIN. (2) 16d TOENAILS EA. BLOCK - STRAPS PER PLAN TO (E) DBL TOP PLATE - HEADER PER PLAN LUS SERIES HANGER - PROVIDE SOLID SHIM AS REQUIRED FOR 2x LEDGER TO MATCH JOIST DEPTH ROUGH OPENING PER ARCH. BEAM PER PLAN w/ (2) ROWS SDS¹/4x4¹/2 SCREWS @ EA. (E) STUD (16"oc) CEILING JOIST PER PLAN-– (E) WALL BEYOND

TYP. ROOF & CEILING FRAMING PER 7/S3.1 - ROOF SHEATHING PER PLAN 8d @ 4"oc DOUBLE TOP PLATE -8d @ 4"oc - 2x4 STUDS @ 24"oc 1/2" CDX PLYWOOD w/ 8d @ 4"oc EDGES, 12"oc FIELD - TYP. CEILING FRAMING PER PLAN - CEILING FINISH PER ARCH. -16d **@** 6"oc 2x NAILER EA. SIDE OF WALL TO ACCEPT CEILING FINISH NAILING - PORTAL FRAME BEAM PER 6/S3.1 Shearwall Extension at Portal Frame